



AQUAVISTA
BAYSIDE, TORONTO

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed ByThe Architect.
Date:

KIRKOR | architects
& planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
------	----------	------

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

Cover Sheet

Project

AQUAVISTA
BAYSIDE, TORONTO
Scale

Drawn by
CL
Checked by
CA
Project No.
13148
Date
DEC 12, 2014
Drawing No.

A0.0

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

The Toronto Green Standard (TGS) is a two-tier set of performance measures, with supporting guidelines for new development, its purpose is to promote sustainable site and building designs that address Toronto's urban environmental priorities: air quality, climate change and energy efficiency, water quality and efficiency, ecology and solid waste.

This Checklist is part of a Complete Application. It must contain adequate detail on how the design meets the Toronto Green Standard. The Checklist must also reference the appropriate plans, drawings and reports that demonstrate compliance with the performance measures. Complete the Checklist in conjunction with the appropriate Standard that applies to the development type, including the Specifications, Definitions and Resources column that provides more information on how to comply. The Checklist is completed by the project architect or planning consultant and is submitted to City Planning staff as part of your development application.

Application Submitted

☒ Site Plan Control ☐ Zoning Bylaw Amendment ☐ Draft Plan of Subdivision

Office Use Only

District Offices: ☐ North York District ☐ Toronto East York District ☐ Scarborough District ☐ Etobicoke York District

Date Received: _____

Is this checklist revised from an earlier submission? ☐ Yes ☐ No

Property and Applicant

Address of Subject Land (Street Number/Name): **Merchant's Wharf and Bonyaccie Street**

Applicant/Agent: _____

Name: **Salvatore Cavaretta**

Telephone: **416.736.2102**

E-mail: **scavaretta@tdm.com**

Registered Owner: **Deltera Inc.**

Proposal Description

Gross Floor Area: **34,292 sq.m.** Number of Storeys: **13** Number of Units: **227 + 80 + 307**

Project information includes a narrative of your project highlighting green attributes or performance measures. The building includes 227 market (condo) units and 80 affordable housing units. The condo portion is pursuing LEED Platinum certification. Energy efficiency measures include a high performance envelope, in-situ ventilation heat recovery, efficient heating and cooling equipment, efficient light fixtures coupled with occupancy sensors, regenerative elevators, and other strategies to ensure that it performs at least 25% more efficiently than SB-10 requirements. Low flow plumbing fixtures are selected for optimal water efficiency. Material selection favours recycled, regional, and low toxicity products.

- * Tier 1 performance measures are required by the City and must be addressed as part of your approved development application.
- * Tier 2 performance measures are voluntary with higher performance levels. Achieving Tier 2 means that you are eligible to apply for a refund of development charges equivalent to 20% of the 2014 rate.
- Check here if you intend to achieve Tier 2 of the Toronto Green Standard (complete pages 9-12).



TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 1: WATER QUALITY, QUANTITY AND EFFICIENCY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
W0.1.1	Erosion & sediment control	Adherence to Erosion and Sediment Control Guidelines for Urban Construction	ESCC plan includes sediment control fence, catch basin, sediment barriers, the construction vehicle mud flat, and any internal direction swales required to force drainage to control points.	Site Grading Plan # Other #
W0.2.1	Stormwater balance	Stormwater retained on-site to the same level of annual volume allowable under pre-development conditions	Quantity of stormwater runoff will not exceed pre-development conditions. Requirements will be satisfied through provision of sump storage in cistern to capture first 15 mm of runoff. Full details are provided in SWM report.	Stormwater Management Report Site Grading Plan # Other #
W0.2.2	Stormwater retention & reuse	One of the following is provided: 1. The first 5mm from each rainfall retained on-site OR 2. Maximum allowable annual runoff volume is no more than 50% of the total average annual rainfall depth	Runoff from a 15mm storm event will be captured from its elevated impervious areas, and used on-site through evapotranspiration, and rainwater harvesting methods. All irrigation requirements will be met with harvested rainwater.	Stormwater Management Report Site Grading Plan # Other #
W0.3.1	Total suspended solids (TSS)	Remove 80% of total suspended solids based on the post-development level of improvements	All runoff from site will be from elevated, non-vehicle surfaces and can be considered clean for quality purposes. Capture of first 15 mm of runoff will provide water quality improvements (as per first flush theory). Baywide CQS (and future SWCF extension) will provide additional off-site treatment.	Stormwater Management Report Site Grading Plan # Other #
W0.3.2	1. Coli reduction	Control the amount of Coli directly entering Lake Ontario and directly entering Lake Ontario	This requirement is serviced by the existing UV treatment facility plant already constructed in Shoreham Common, and supplemented further by the future SWCF extension at 480 Lake Shore Blvd E. Hence there is no requirement for treatment as part of the Baywide development.	Stormwater Management Report Site Grading Plan # Other #
W0.4.1	Drought-tolerant landscapes	Water efficient plant material provided for at least 50% of landscaped site area	Xeroflor green roof (or equivalent), planted with a variety of sedums, will be used for the majority of the green roof area. Much of the remaining landscape will use native and adaptive species.	Landscape Plan # Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 1: ECOLOGY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC.1.1	Tree protection	Adherence to the Tree Preservation Policy and Specifications for Construction New Trees	No trees are large enough to be considered protected.	Arborist Report Site Plan # Underground Garage Plan # Tree Preservation Plan # Other #
EC.1.2	Preservation of mature trees	Protect and retain all trees that are 30 cm or more DBH from injury or removal	There are no trees over 30cm in diameter on-site.	Arborist Report Site Plan # Underground Garage Plan # Tree Preservation Plan # Other #
EC.1.3	Ravine protection	Within the Ravine Protected Area, protect and retain trees of all diameters	Not applicable to site.	Arborist Report Site Plan # Underground Garage Plan # Tree Preservation Plan # Other #
EC.1.4	Street tree retention	Protect and retain all trees adjacent to City of Toronto streets and roadways and City-owned Parkland	The construction team will take every precaution to prevent damage to existing trees. If damage occurs, they will be replaced at the end of construction.	Arborist Report Site Plan # Landscape Plan # Tree Preservation Plan # Other #
EC.2.1	Tree planting	Tree canopy cover distributed across site area and public boulevard	Edgewater streetscape design is not yet finalized. Final design will meet requirements.	Landscape Plan # Other #
EC.2.2	Soil volumes	Provide all trees planted with a minimum volume of 20 m ³ of high-quality soil per tree	Required soil volumes will be provided for street trees adjacent to site.	Landscape Plan # Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC.2.3	Trees along street frontages	Plant large shade trees along all street frontages	Edgewater streetscape design is not yet finalized. Final design will meet requirements. (Trees have recently already been planted along Merchant's Wharf.)	Landscape Plan # Other #
EC.2.4	Trees in parking lots	Plant shade trees throughout the parking lot/terrace	N/A. There is no surface parking.	Arborist Report Landscape Plan # Other #
EC.2.5	Watering program	Provide a watering program for trees for at least the first 2 years after planting	Irrigation program will be in place for the first two years after planting. Trees will be irrigated with harvested rainwater via permanent irrigation system.	Arborist Report Landscape Plan # Other #
EC.3.1	Biodiversity in landscapes	Plant landscaped site area using a minimum of 50% native species	At least 50% of plant material will be native, including the Xeroflor roof planting system.	Arborist Report Landscape Plan # Other #
EC.3.2	Ravines and natural areas buffers	Where a setback from top-of-bank is required, plant landscaped area of the setback with native species	N/A. No ravine adjacent to site.	Landscape Plan # Other #
EC.3.3	Invasive species	No invasive species on properties along streets abutting ravines and natural areas	No invasive species will be planted.	Landscape Plan # Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC.4.1	Bird friendly glazing	Treat a minimum of 85% of all exterior glazing within the first 12m of the building above grade, using a combination of the following strategies: 1. Low reflectance, opaque materials 2. Visual markers 3. Muted reflections	A combination of tinted glass, muted reflections, and opaque materials (low reflectance spandrel) will be used to achieve 85% treated area within first 12m of the building. 100% of the east facade within first 12m will be treated. All fly-through corner conditions will be treated.	Landscape Plan # Other # Elevation Plan # A2.1 A2.2
EC.4.2	Roof-top vegetation	Treat the first 4 m of glazing above the feature	A combination of tinted glass, muted reflections, and opaque materials (low reflectance spandrel) will be used to treat 85% of the area within 4m vertically and 2.5m horizontally of the vegetated roof area at levels 2, 7, 11 and PNC2.	Landscape Plan # Other #
EC.4.3	Grate porosity	Ensure ground level grates have a porosity of less than 20 mm x 20 mm (or 40 mm x 10 mm)	As noted on Architectural drawings, wire mesh with a porosity of 20 mm x 20 mm will be included on any ground-level ventilation grates.	Landscape Plan # Other # A1.4
EC.5.1	Exterior lighting	Shield all exterior light fixtures	Cut-off fixtures will be specified to minimize light trespass. There are no uplighting or unshielded fixtures within project scope.	Site Plan Landscape Plan # Building Elevation # Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 1: SOLID WASTE

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
SW.1.1	Waste collection & sorting system	Residential: Provide a waste sorting system	A bi-sorter will be provided for garbage and compost, with a separate chute provided for recycling at 2 locations within the condo level and west. A tri-sorter will be provided for affordable housing.	Floor Plan # Other # A2.4
SW.1.2	Waste storage spaces	Residential: Provide easily accessible waste storage room	Condo: 71 sq. m. of storage space is required. 176 sq. m. is Affordable: 38 sq. m. of storage space is required. 78 sq. m. is provided.	Site Plan # Underground Garage Plan # Floor Plan # A2.4 Other #
SW.1.3	Bulky waste	Residential: Provide a minimum of 10 m ³ for bulky items and additional diversion programs	10 sq. m. of storage space is provided for bulky waste.	Site Plan # Underground Garage Plan # Floor Plan # A2.4 Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 2: CORE

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ.4.2	Enhanced UVB Non-rod hardcap	Treat 75% of the site's non-rod hardcap	A combination of high albedo materials and shading will be used on 75% of all grade hardcap. Edgewater design is not yet finalized, but requirements will be met.	Landscape Plan # Other # Declaration template
GHG.1.3	Enhanced energy efficiency	Design and construct the building to achieve at least 25% energy efficiency improvement over the current Ontario Building Code	Building is designed to achieve at least 25% energy efficiency improvement over SB-10.	As Constructed Energy Model Report OR Small Buildings Checklist
GHG.2.1	Building Commissioning	Commission the project using best practice Commissioning	A Commissioning Authority has been appointed. Requirements will be met.	Declaration template
WG.4.2	Water Efficient Fixtures	Reduce potable water consumption by at least 20% using efficient water fixtures and appliances	Potable water use reduction target is 45% (as per LEED 2009 methodology) and Energy Star appliances will be used. Requirements will be met.	Declaration template

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
WG.4.3	Irrigation	Reduce potable water use for irrigation by 50%	Preliminary system size is ~ m ³ Sump storage and ~ m ³ Active storage, totalling ~ m ³ . All irrigation requirements, including tree shrubs adjacent to the site, will be met with harvested rainwater.	Landscape Plan # Roof Plan # Other # Declaration template
EC.5.2	Enhanced Lighting	Direct rooftop architectural illumination downward and turn off between the hours of 11 p.m. and 6 a.m. during migratory bird seasons	Rooftop illumination will be directed downward. BAS will be programmed to turn lights off overnight during migratory bird seasons.	Roof Plan # Lighting Plan # Other #
EC.5.3	Lighting Controls	Install an automatic device that reduces the outdoor lighting of internal light by one of the following: 1. Reducing the input power to lighting fixtures 2. Shielding all openings in the building envelope	NA	Declaration template

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 2: OPTIONAL (SELECT 3)

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ.1.2	Enhanced LEV spaces	Electrical provision for future electric vehicle charging		Declaration template
AQ.2.5	Enhanced Bicycle parking rates	Provide enhanced bicycle parking rates		Site Plan # Underground Garage Plan # Other #
AQ.2.6	Bike share	Provide public bike share location at-grade		Site Plan # Other #
GHG.1.4	On-site renewable energy	Design and install on-site renewable energy systems		Declaration template As-constructed Energy Model Report
GHG.2.2	Meters	Install thermal energy meters	Thermal meters will be installed to submeter heating and cooling energy used by fan coils.	Declaration template
WG.2.3	Enhanced stormwater retention & reuse	Provide enhanced stormwater retention and reuse		Declaration template

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC.2.6	Enhanced trees in parking lots	Plant internal shade trees in surface parking areas		Site Plan # Landscape Plan # Other #
EC.2.7	Enhanced tree planting	Provide additional tree planting beyond the development site and the associated public boulevard		Site Plan # Landscape Plan # Other #
EC.3.4	Enhanced Landscaping	Restore or protect a minimum 50% of the site area or 25% of the total site area with native or drought-tolerant vegetation.		Site Plan # Landscape Plan # Other #
EC.4.4	Enhanced bird friendly glazing	Use a combination of the following to treat a minimum of 85% of all exterior glazing within the first 12 m of the building: 1. Low reflectance, opaque materials 2. Visual markers 3. Muted reflections		Landscape Plan # Other # Elevation Plan #
EC.4.5	Opaque building materials	Provide at least 95% of the exterior surface of the building as non-reflective opaque materials		Building Elevation # Building Cross-Section #
SW.1.4	Enhanced waste collection & sorting	Provide three separate chutes for collection of each of the three waste streams on all floors (Residential)		Floor Plan # Other #

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
SW.1.5	Enhanced waste storage space	One of the following is provided (Residential): 1. Separated kitchen cabinet space for collection of three waste streams 2. Dedicated area(s) within the building for collection and storage of recycling and organics		Floor Plan # Other #
SW.1.6	Household hazardous waste	Provide a dedicated collection area or room		Floor Plan # Other #
SW.2.1	Building reuse	Maintain at least 55% of the existing building structure and envelope		Declaration template
SW.3.1	Construction waste	Recycle at least 75% of non-hazardous construction and demolition debris	A waste diversion rate of at least 75% will be specified.	Declaration template
SW.4.1	Recycled content	Ensure that at least 20% construction materials comprise recycled content	Recycled content target for the project is 20%.	Declaration template
SW.5.1	Regional materials	Ensure at least 20% of the building materials or products have been extracted, harvested, recovered or processed within 800 km of the final manufacturing site	Regional content target for the project is 20%.	Declaration template

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ.5.1	Green & cool roofs	Choose the applicable category: 1. Green roof by law applies OR 2. Green roof by law does not apply OR 3. City-owned buildings and all Agencies, Boards, Commissions and Corporations (ABCs)	>20,000 m ² GFA, therefore 60% green roof coverage required: 80.7% green roof is provided. - total available roof, less amenity terraces, private terraces, and area designated for renewable energy: 1708 m ² - green roof required: 1023 m ² - green roof provided: 1120 m ²	Site Plan # Roof Plan # Other # A2.4-2.9

TIER 1: GREENHOUSE GAS EMISSIONS/ENERGY EFFICIENCY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
GHG.1.1	Energy efficiency	Design building(s) to achieve at least 15% energy efficiency improvement over the current Ontario Building Code	Building is designed to exceed 25% energy efficiency improvement over SB-10.	Design Development Stage Energy Report OR Small Buildings Checklist
GHG.1.2	On-site renewable energy	City-owned buildings and all ABCs. Install renewable energy devices	NA	Feasibility study

Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.

Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architect's Written Permission.

This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR | architects & planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01 SPA SUBMISSION DEC.12, 2014
No Issued For Date

Drawing Title

TGS CHECKLIST

AQUAVISTA

BAYSIDE, TORONTO

Scale

Author Drawn by

Checker Checked by

13148 Project No.

DEC 12, 2014 Date

Drawing No.

TGS CHECKLIST

NTS

1
A1.1

A1.1



Toronto Green Standard Version 2.0
Statistics Template
For Mid to High-Rise Residential and All Non-Residential Development

The Toronto Green Standard StatisticsTemplate is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications.
Complete the table and copy it directly onto the Site Plan submitted as part of the application. Refer to the full Toronto Green Standard for Mid to High-Rise Residential and All Non-Residential Development (Version 2.0) for the complete set of standards and detailed specifications:
www.toronto.ca/greendevelopment
For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.

Toronto Green Standard Statistics

General Project Description	Proposed
Total Gross Floor Area	
Breakdown of project components (m ²)	
Residential	
Retail	
Commercial	
Industrial	
Institutional/other	
Total number residential units (residential only)	

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed (%)
Number of parking spaces			
Number of parking spaces with physical provision for future EV charging (residential)			
Number of parking spaces dedicated for priority parking: LEV, car pooling, car sharing (institutional/commercial)			
Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of long-term bicycle parking spaces (residential)			
Number of long-term bicycle parking spaces (all other uses)			
Number of long-term bicycle parking (residential and all other uses) located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground (also indicate % of net area of level occupied by bicycle parking)			
d) second level below-ground (also indicate % of net area of level occupied by bicycle parking)			
e) other levels below-ground (also indicate % of net area of level occupied by bicycle parking)			
Number of short-term bicycle parking spaces (residential only)			
Number of short-term bicycle parking spaces (all other uses)			
Number of male shower and change facilities (non-residential only)			
Number of female shower and change facilities (non-residential only)			
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage room area (residential only) (m ²)			

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of short-term bicycle parking spaces (residential and all other uses) at-grade or on first level below grade			

Urban Heat Island Reduction: At Grade	Required	Proposed	Proposed (%)
Total non-roof hardscape area (m ²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ² and %)			
Area of non-roof hardscape treated with: (indicate m ² and %)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			
d) shade from structures covered by solar panels			
Percentage of required car parking spaces under cover (minimum 50%)(non-residential only)			
Urban Heat Island Reduction: Roof	Required	Proposed	Proposed (%)
Available Roof Space (m ²)			
Available Roof Space provided as Green Roof (m ² and %)			
Available Roof Space provided as Cool Roof (m ² and %)			
Water Efficiency	Required	Proposed	Proposed (%)
Total landscaped site area (m ²)			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %)			
Urban Forest : Increase Tree Canopy	Required	Proposed	Proposed (%)
Total site area (m ²)			
Total number of trees planted (site area x 40% ÷ 66)			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			
Natural Heritage: Site	Required	Proposed	Proposed (%)
Total number of species planted			
Total number of native species planted and % of total species planted (minimum 50%)			
Bird Friendly Glazing	Required	Proposed	Proposed (%)
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ² and %)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			
c) Shading			
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage area for bulky items and other (minimum 10m ²) (residential only)			

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed ByThe Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
------	----------	------

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

TGS Checklist, Template

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

CL
Drawn by

CA
Checked by

13148
Project No.

DEC 12, 2014
Date

Drawing No.

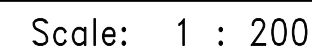
A1.2

TGS Checklist

1

NTS

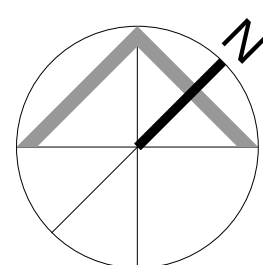
A1.2



NTS



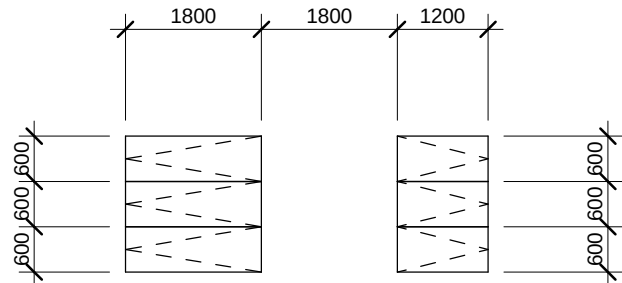
A1.4



R - RETAIL
AV - AFFORDABLE VISITOR
AR - AFFORDABLE RESIDENTS
CV - CONDO VISITOR
CR - CONDO RESIDENTS
CR (E) - CONDO RESIDENTS
WITH ELECTRICAL CONDUITS

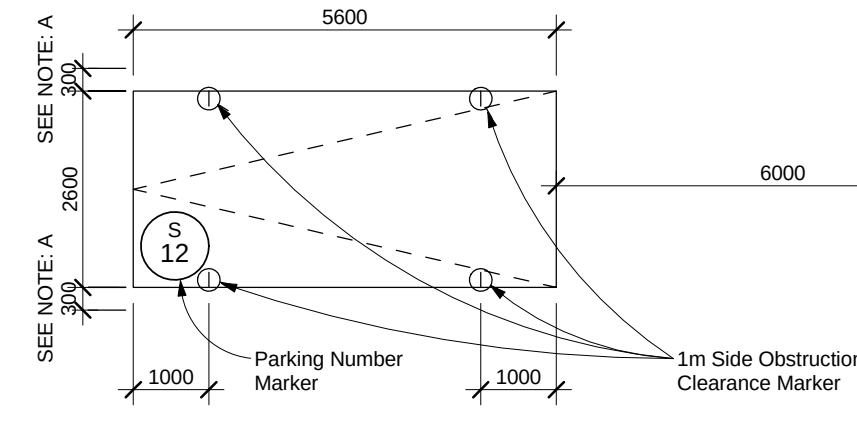
TYPICAL BICYCLE PARKING SPACE:

WALKWAY MINIMUM 1800mm
VERTICAL PARKING MINIMUM 1200mm (L) x 600mm (W)
HORIZTON PARKING @ 1800mm (L) x 600mm (W)



TYPICAL PARKING SPACE:

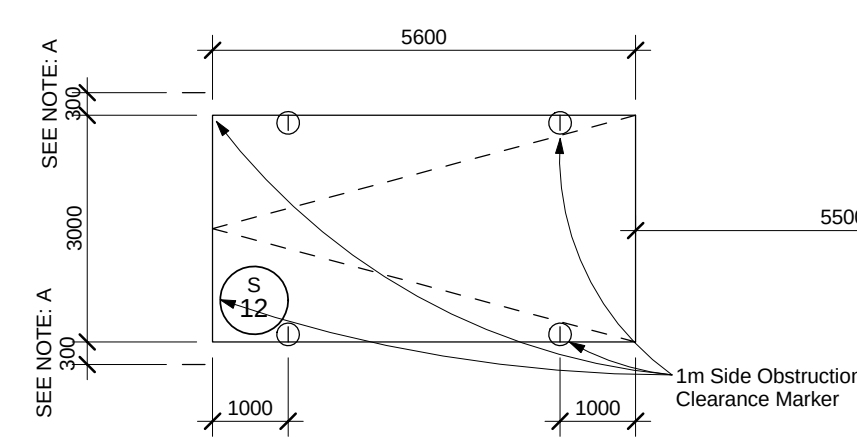
Drive Aisle @ 6m min.



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

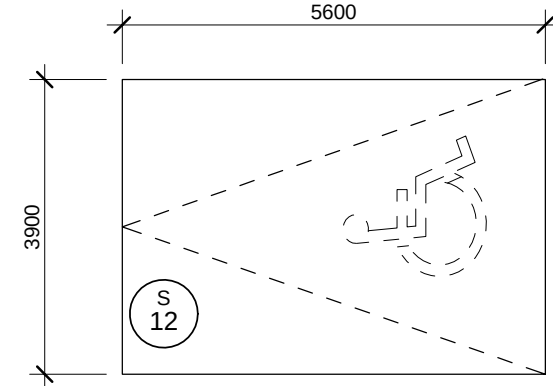
TYPICAL PARKING SPACE:

Drive Aisle @ 5.5 m to less than 6m



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

HANDICAP PARKING SPACE:



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BELOWGRADE LEGEND

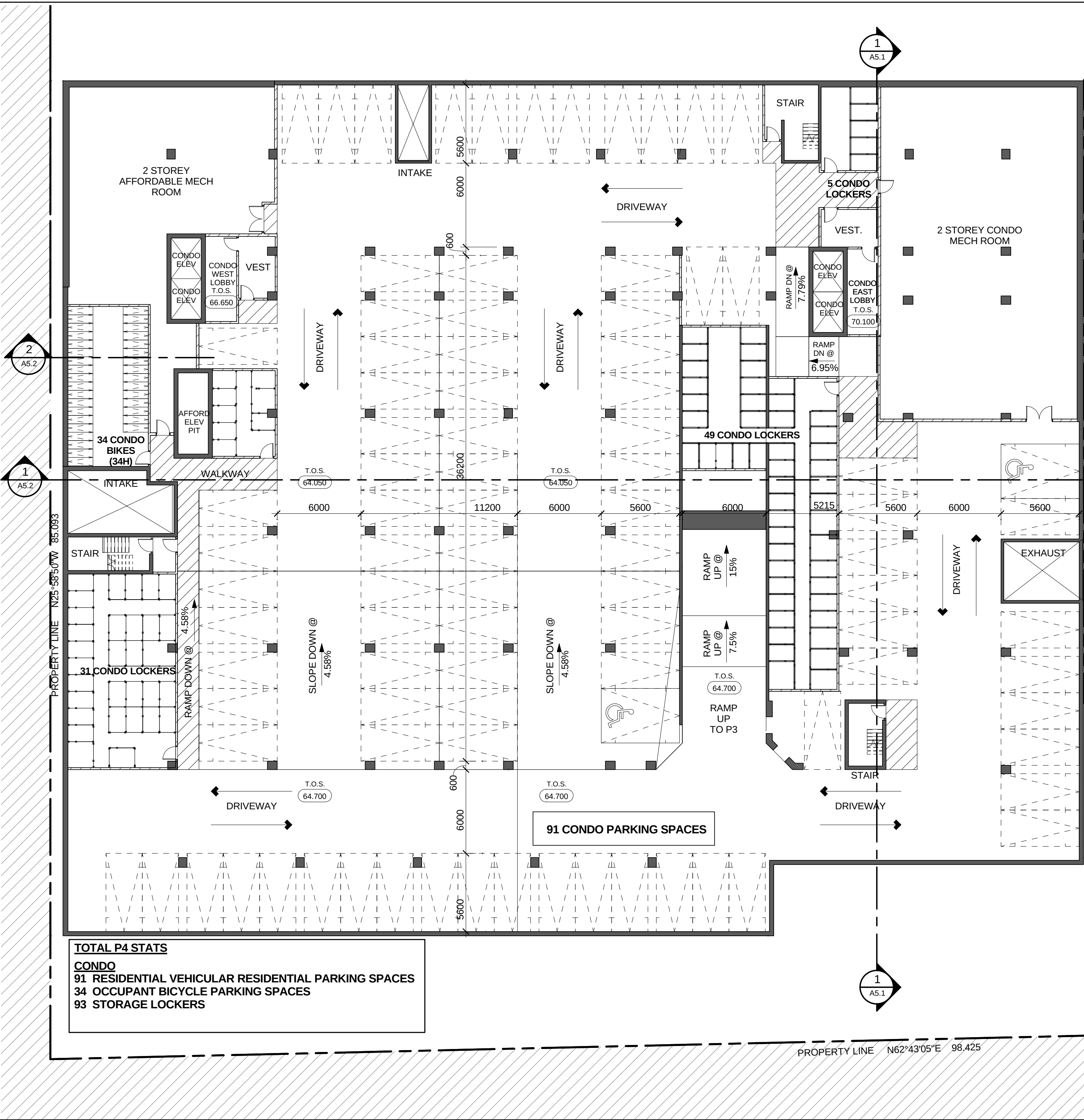
NTS

TYPICAL BICYCLE PARKING NOTES

NTS

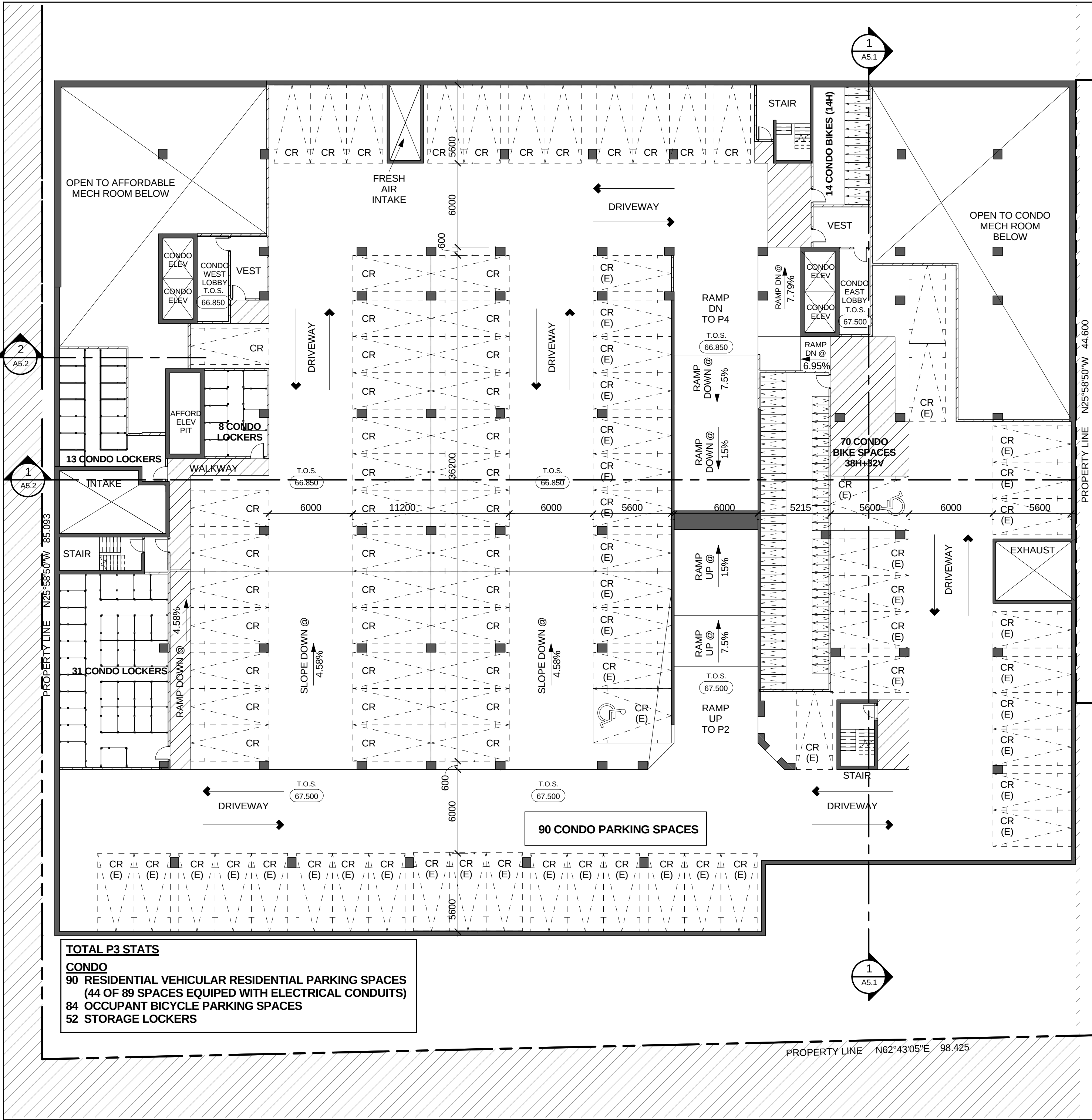
TYPICAL VEHICULAR PARKING NOTES

NTS



LEVEL P4 FLOOR PLAN

Scale: 1 : 200



LEVEL P3 FLOOR PLAN

Scale: 1 : 200

Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.

Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.

This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR architects & planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01 SPA SUBMISSION DEC. 12, 2014
No Issued For Date

Drawing Title

LEVEL P4 & LEVEL P3
FLOOR PLAN

Project

AQUAVISTA

BAYSIDE, TORONTO

As indicated Scale

CL Drawn by

CA Checked by

13148 Project No.

DEC 12, 2014 Date

Drawing No.

A2.1

KIRKOR | **architects
& planners**

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Project

Λ 2 2

A2.2

BELOWGRADE LEGEND	3
NTS	A2.2



RESIDENTIAL WASTE DIVERSION SYSTEM:
CONDO: 4 SEPARATE CHUTES WITH 2 CHUTES EQUIPPED WITH DUAL SORTERS
AFFORDABLE: 1 CHUTE EQUIPPED WITH TRI-SORTER

GARBAGE / RECYCLING STORAGE ROOM AREA CALCULATIONS
CITY OF TORONTO REQUIREMENTS (MAY 2012):
25m² / FIRST 50 UNITS + 13m² / 50 UNITS + 10m² (UNCOMPACTED GARBAGE)

STAGING AREAS:
REQUIRED:
5m² FOR EVERY 50 UNITS > 50
[(227 UNITS + 80 UNITS)] - 50 = 257
257 / 50 = 5.14
5.14 X 5m² = 25.7m²

PROVIDED:
48.67Mm²

CONDO GARBAGE & RECYCLING ROOM:

REQUIRED:
227 (TOTAL UNITS) - 50 (FIRST 50 UNITS) = 177 UNITS
177 UNITS / 50 = 3.54
(3.54 x 13m²) + 25m² = 71.02m²

PROVIDED:
81.49m² (WEST CONDO GARBAGE ROOM ON L1 MEZZ) +
94.40m² (EAST CONDO GARBAGE ROOM ON L1 MEZZ)
= 175.89 m²

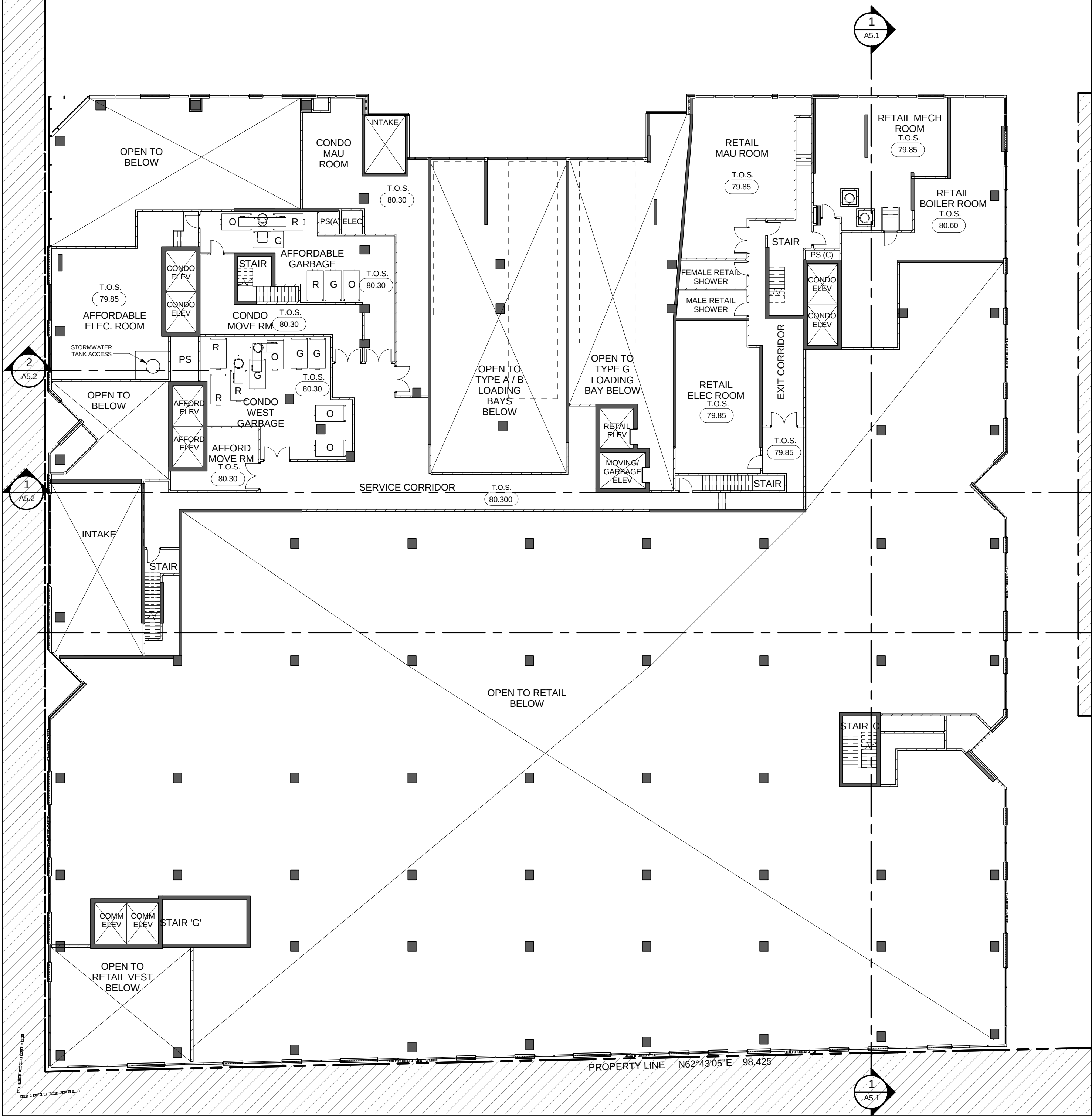
AFFORDABLE GARBAGE & RECYCLING ROOM:

REQUIRED:
80 UNITS - 50 (FIRST 50 UNITS) = 30 UNITS
30 UNITS / 50 = 0.6 = 1 (ROUNDED TO NEAREST WHOLE NUMBER)
(1 x 13m²) + 25m² = 38 m²

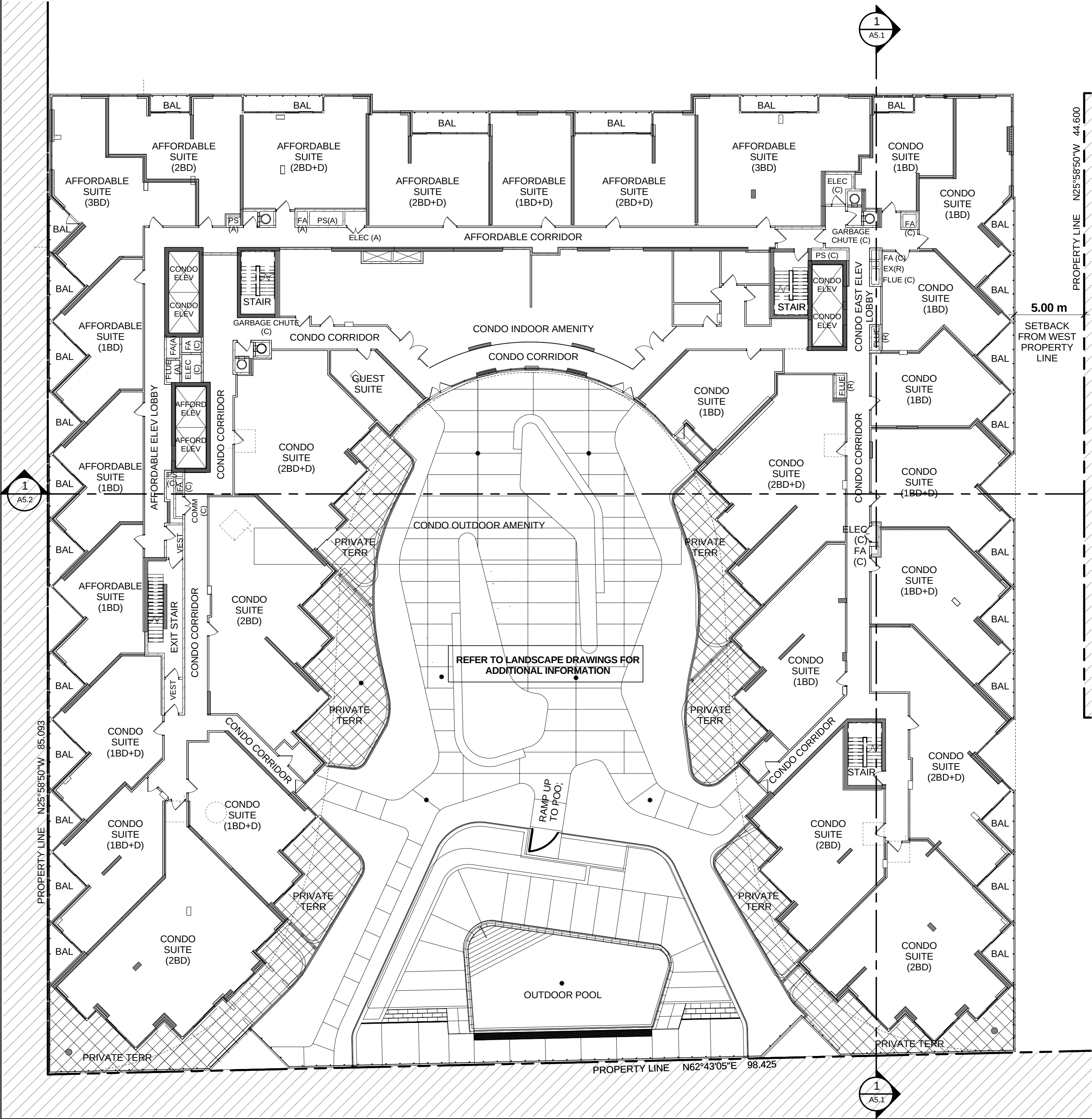
PROVIDED:
77.88 m²

WASTE MANAGEMENT NOTES AND CALCULATIONS

3
A2.4



LEVEL 1 MEZZANINE FLOOR PLAN
Scale: 1 : 200



LEVEL 2 FLOOR PLAN
Scale: 1 : 200

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

Level 1 Mezz. & Level 2
Floor Plan

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

1 : 200

CL Drawn by

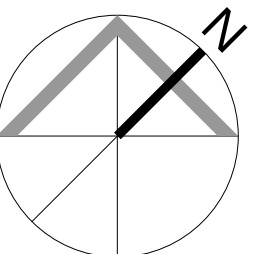
CA Checked by

13148 Project No.

DEC 22 2014 Date

Drawing No.

A2.4



KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

LEVEL 3 & LEVEL 4-5 FLOOR PLAN

AQUAVISTA

YSIDE, TORONTO

200 Scale

Drawn by

Checked by _____

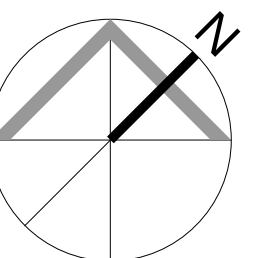
Project No.

Date _____

Drawing No.

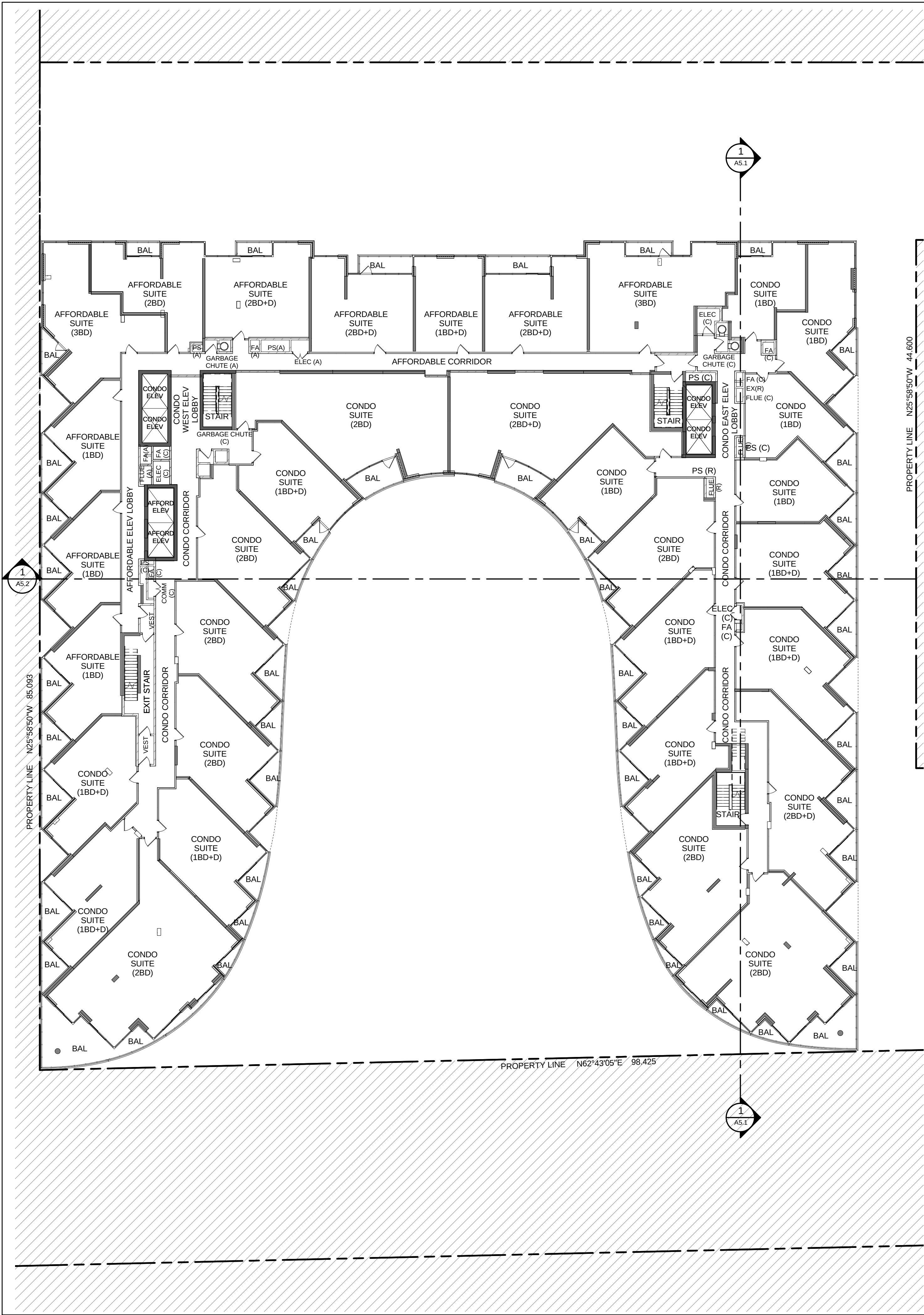
Λ 2 Ε

A2.5

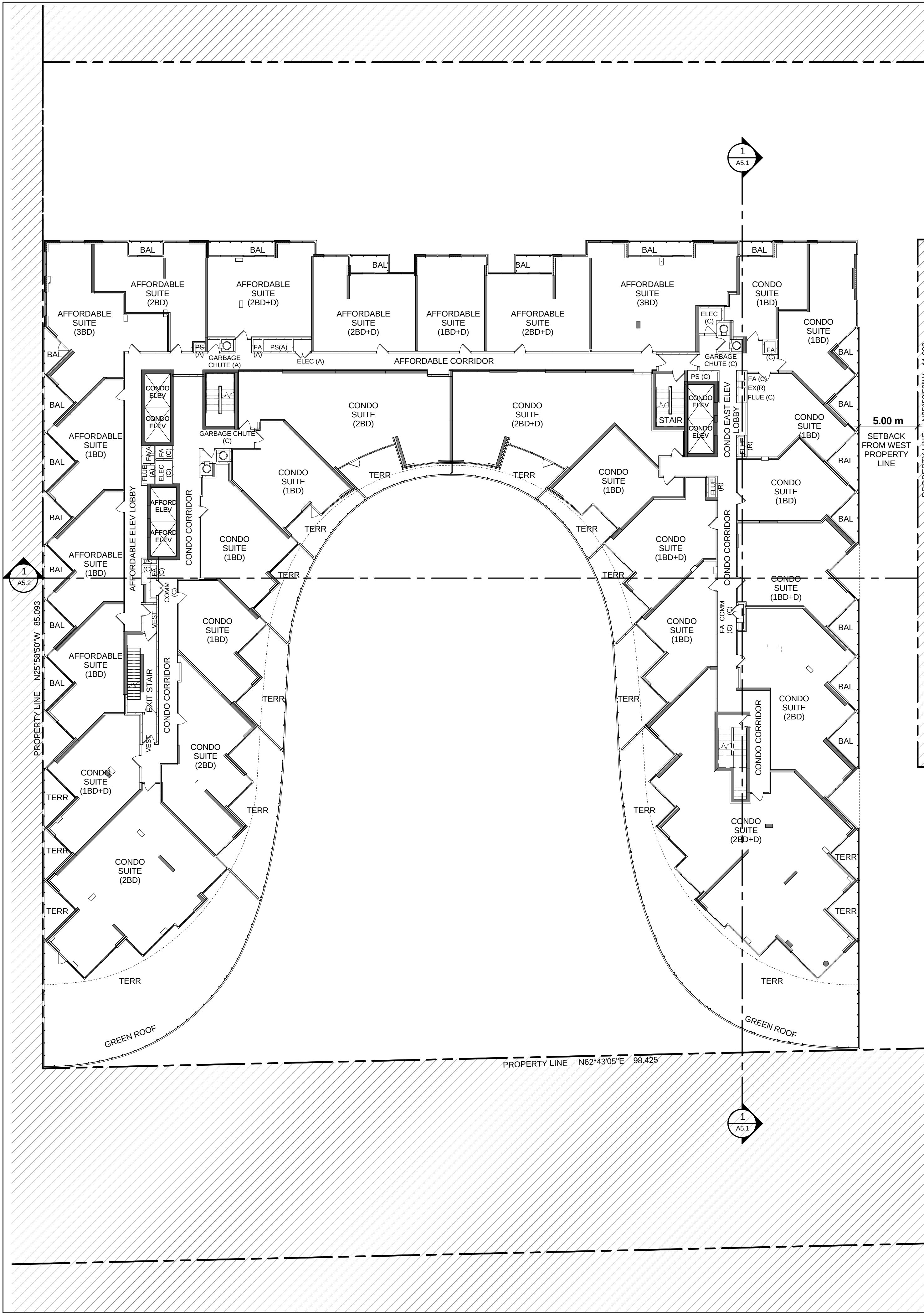


A2.5





LEVEL 6 FLOOR PLAN 1
Scale: 1 : 200 A2.6



LEVEL 7 FLOOR PLAN 2
Scale: 1 : 200 A2.6

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

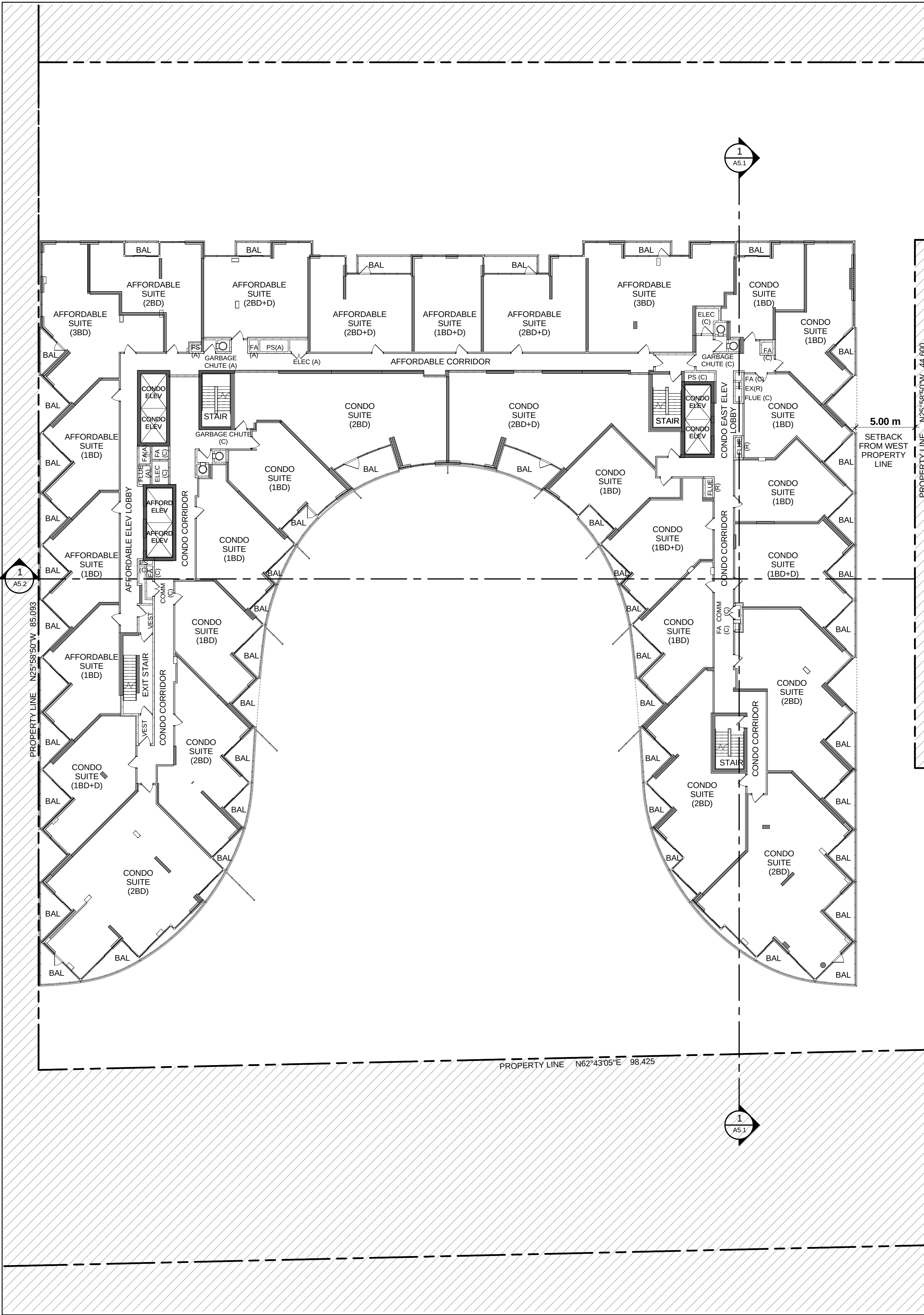
Drawing Title

Level 6 & Level 7 Floor Plan

Project

AQUAVISTA
BAYSIDE, TORONTO
Scale
1 : 200
Author
Checked by
Checker
Project No.
13148
Date
DEC 22 2014
Drawing No.

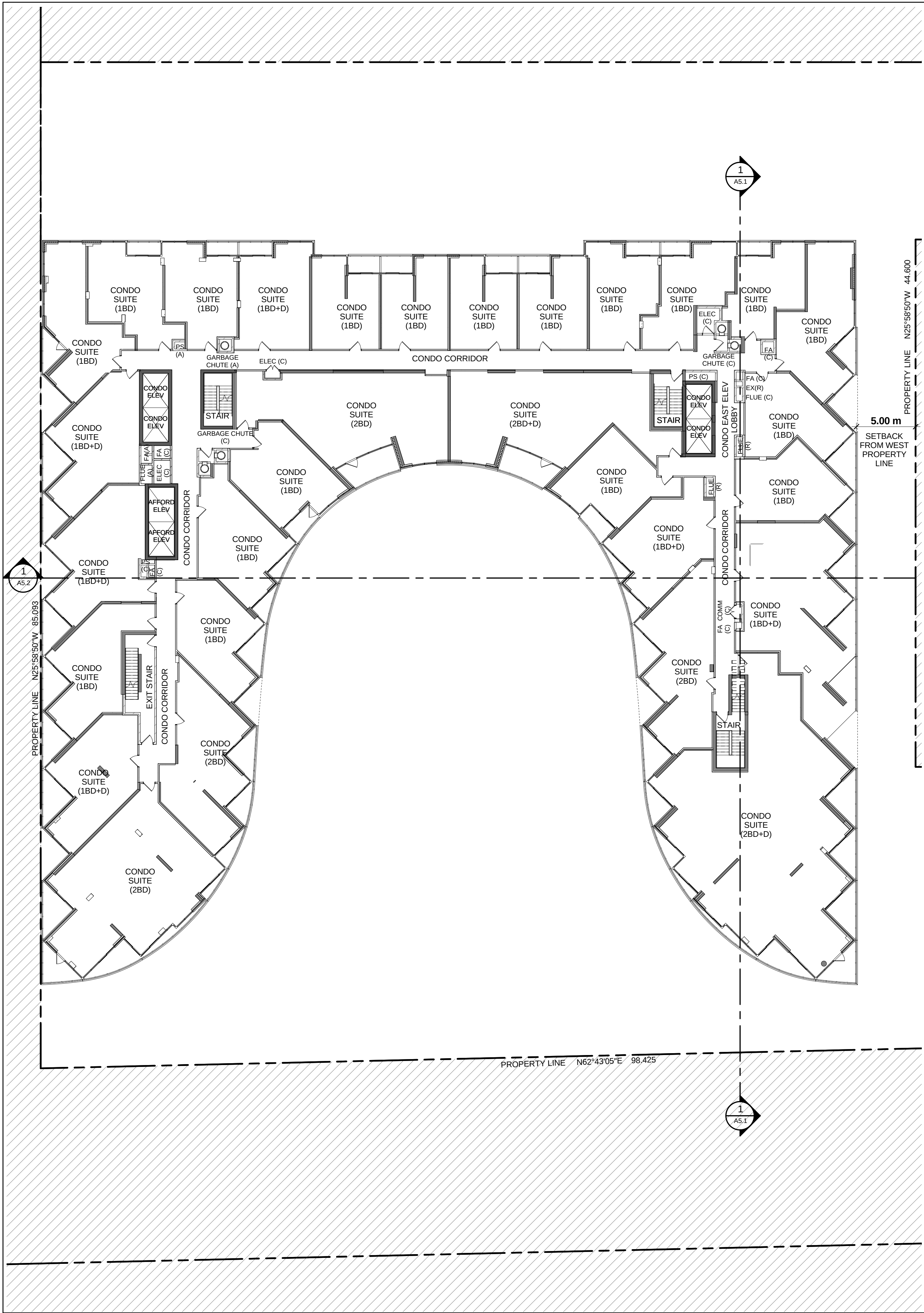
A2.6



LEVEL 8-9 FLOOR PLAN

Scale: 1 : 200

1
A2.7



LEVEL 10 FLOOR PLAN

Scale: 1 : 200

2
A2.7

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects
& planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

LEVEL 8-9 & LEVEL 10
FLOOR PLAN

Project

AQUAVISTA

BAYSIDE, TORONTO

1 : 200 Scale

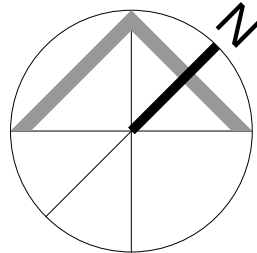
Author Drawn by

Checker Checked by

13148 Project No.

DEC 22 2014 Date

Drawing No.



A2.7

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects
& planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

LEVEL 11 & LEVEL 12
FLOOR PLAN

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

1 : 200

Drawn by

Author

Checked by

Checker

Project No.

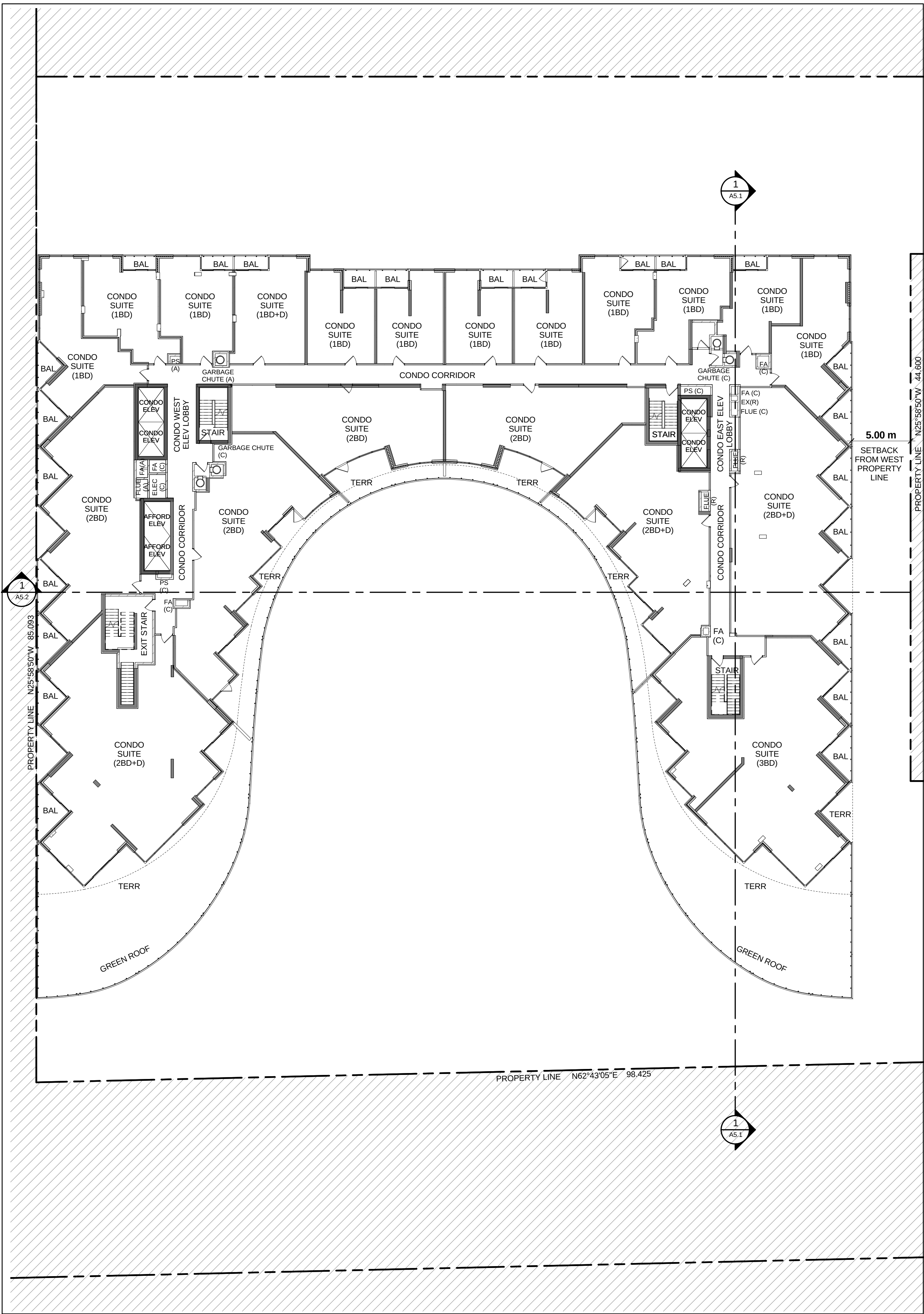
13148

Date

DEC 22 2014

Drawing No.

A2.8

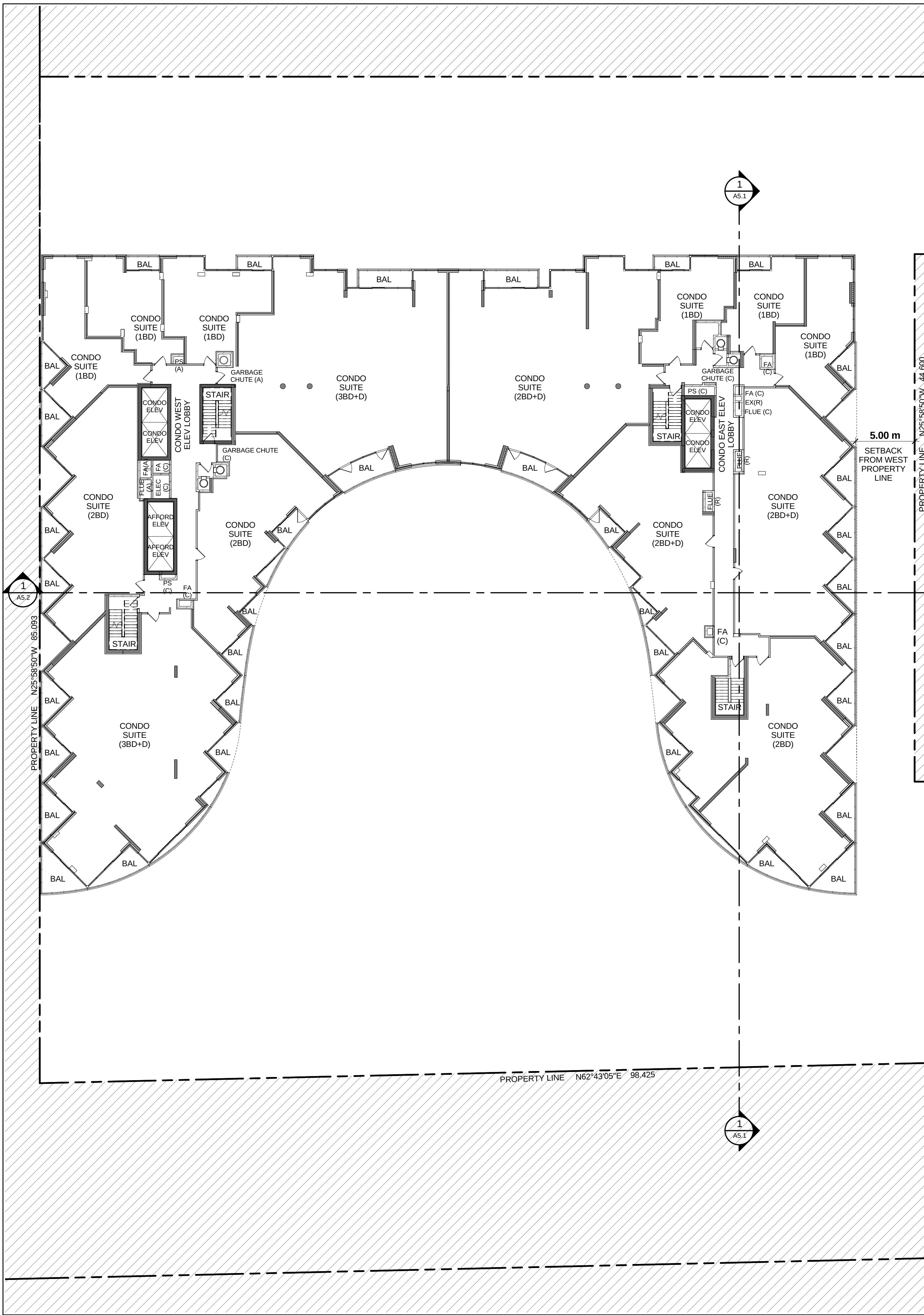


LEVEL 11 FLOOR PLAN

Scale: 1 : 200

1

A2.8

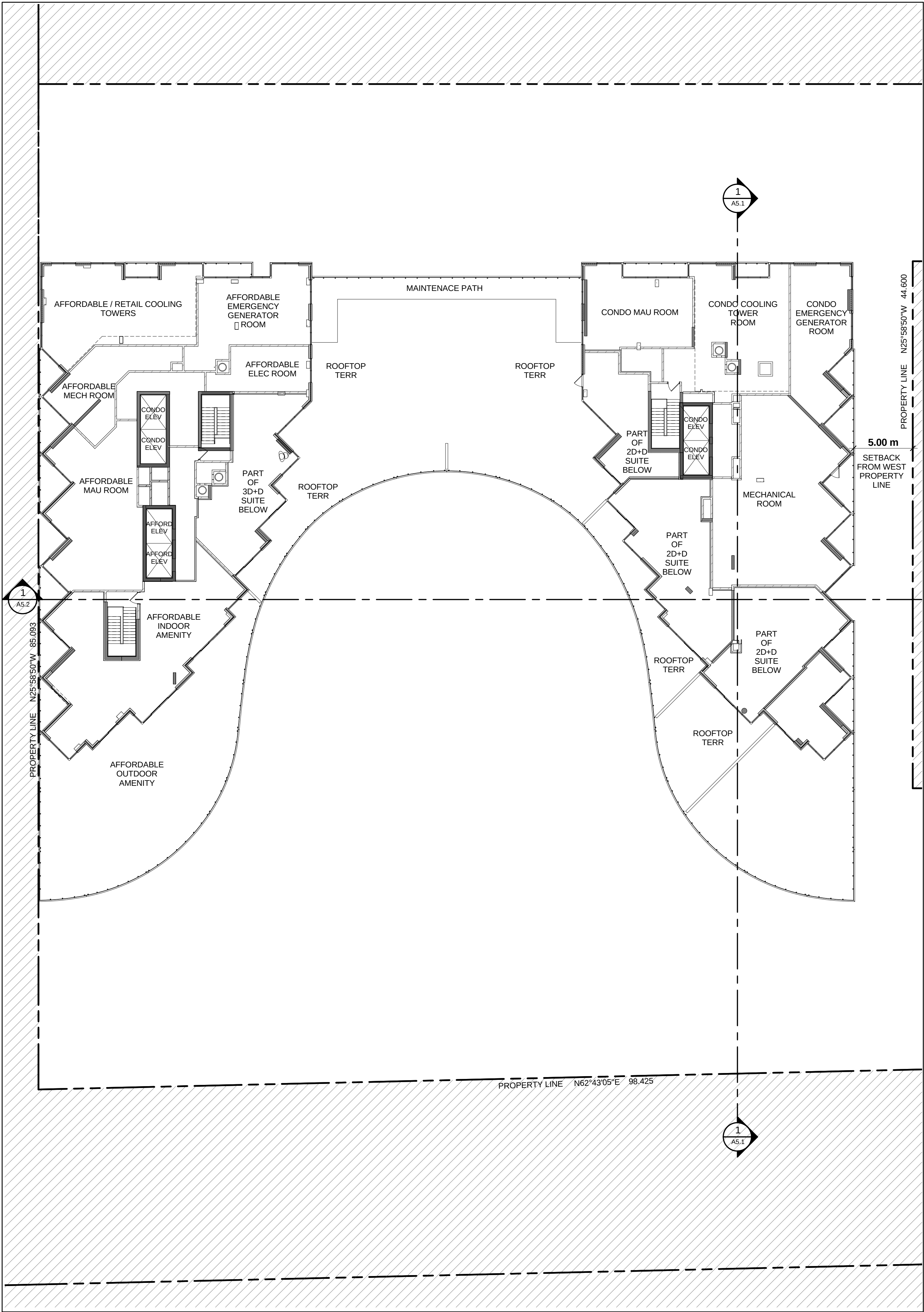


LEVEL 12 FLOOR PLAN

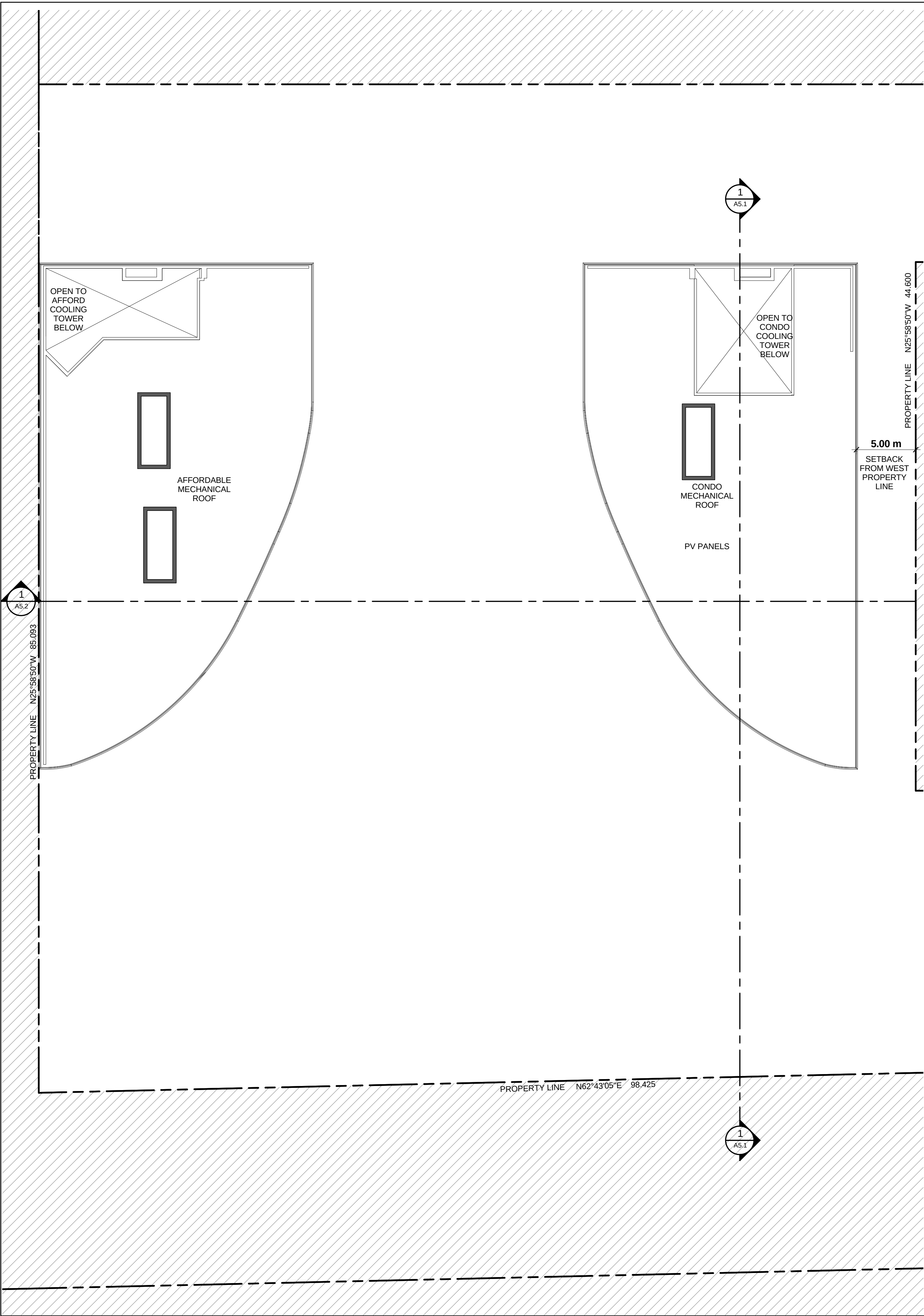
Scale: 1 : 200

2

A2.8



Level 13 Floor Plan 1
Scale: 1 : 200 A2.9



LEVEL 14 ROOF PLAN 2
Scale: 1 : 200 A2.9

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

LEVEL 13 FLOOR PLAN &
LEVEL 14 ROOF PLAN

Project

AQUAVISTA

BAYSIDE, TORONTO

1 : 200 Scale

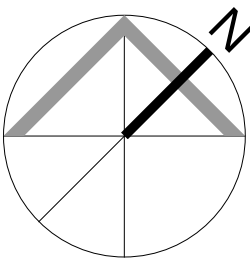
Author Drawn by

Checker Checked by

13148 Project No.

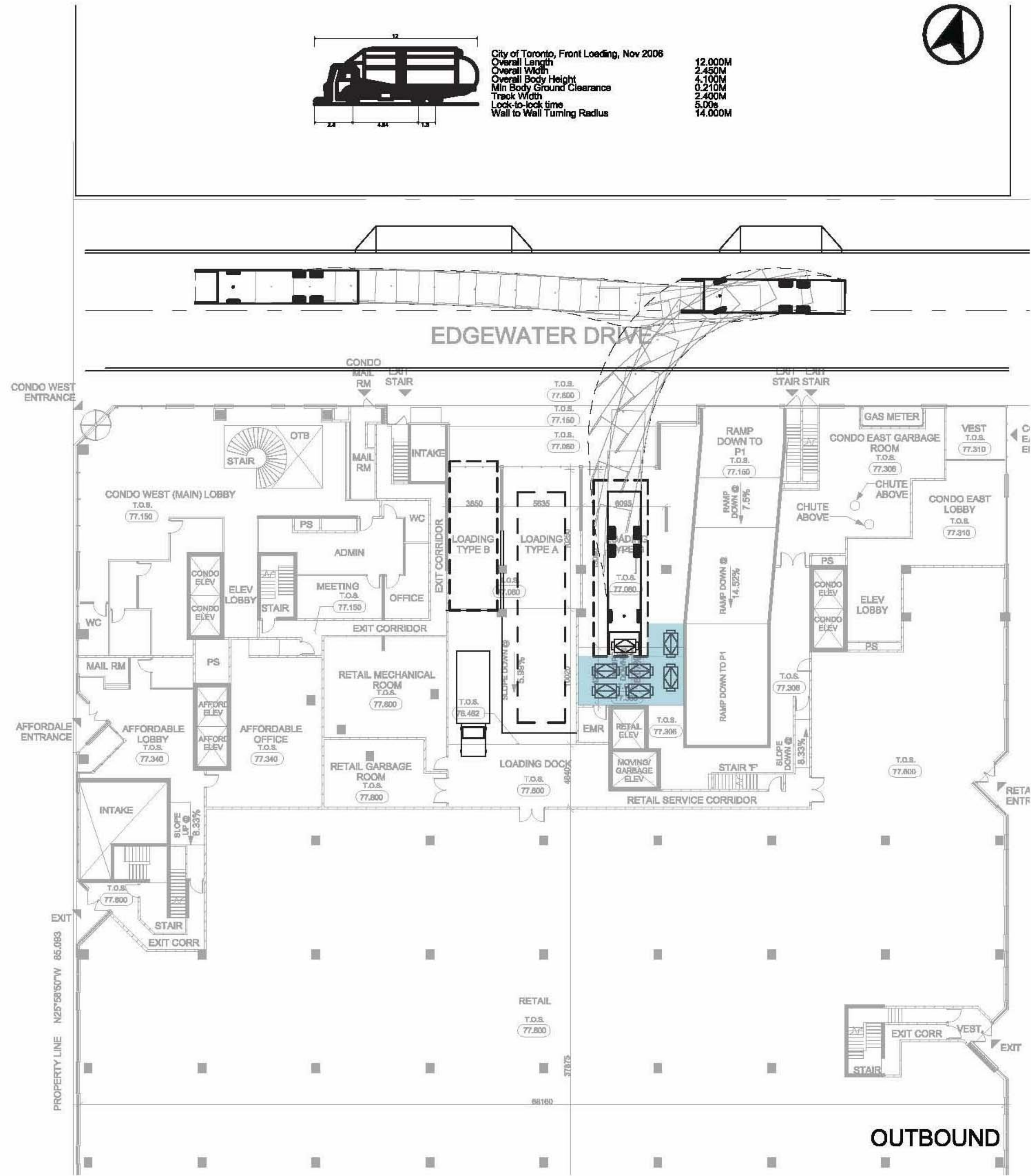
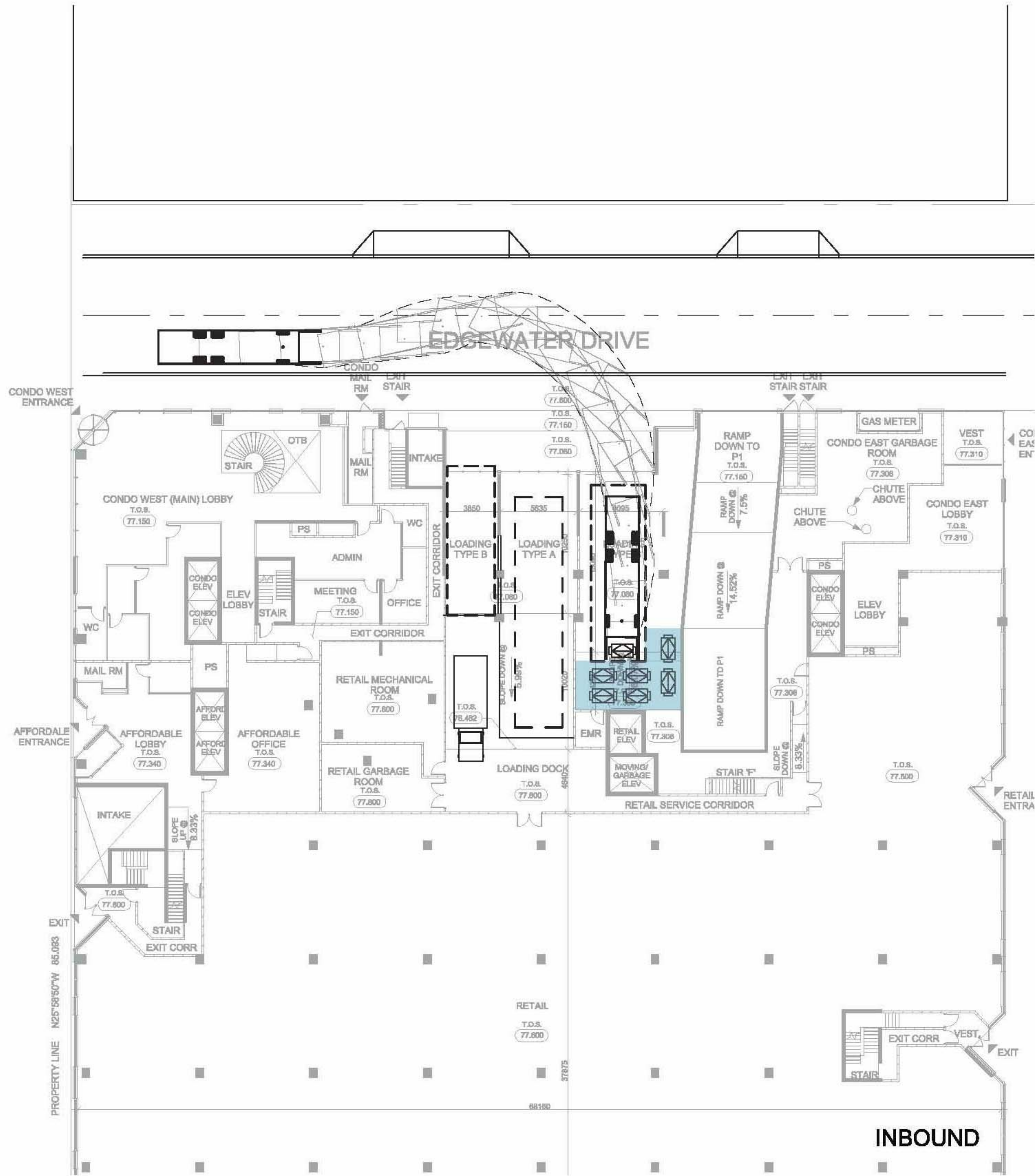
DEC 22 2014 Date

Drawing No.



A2.9

Date Plotted: December 11, 2014 File Name: J:\7575-08\Bayside Block 5\Bayside Plan Review\2014\41 REV 3 - Dec8-14\BA-Aquavista-SPR-R3-7575-08.dwg



AQUAVISTA - BAYSIDE BLOCK 5
VEHICLE MANOEUVRING DIAGRAM
CITY OF TORONTO GARBAGE TRUCK - TYPE G LOADING SPACE

Project: Aquavista
Project No. 7575-06
Date: October 27, 2014
Revised: December 9, 2014

Scale 0 2 4 6 8 10 20m
1:400
Drawing No. VMD-1

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01 SPA SUBMISSION DEC.12, 2014
No Issued For Date

Drawing Title

**TYPE G TRUCK TURN
DIAGRAM**

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

Drawn by

Checked by

Project No.

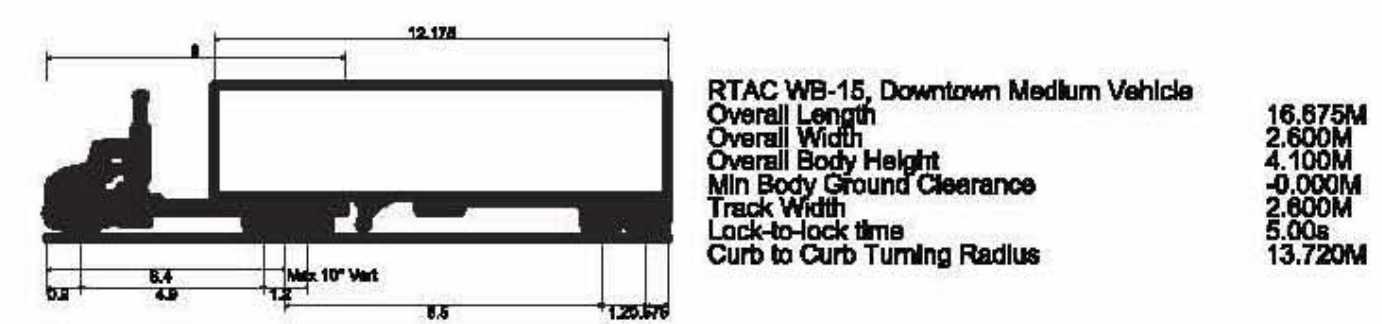
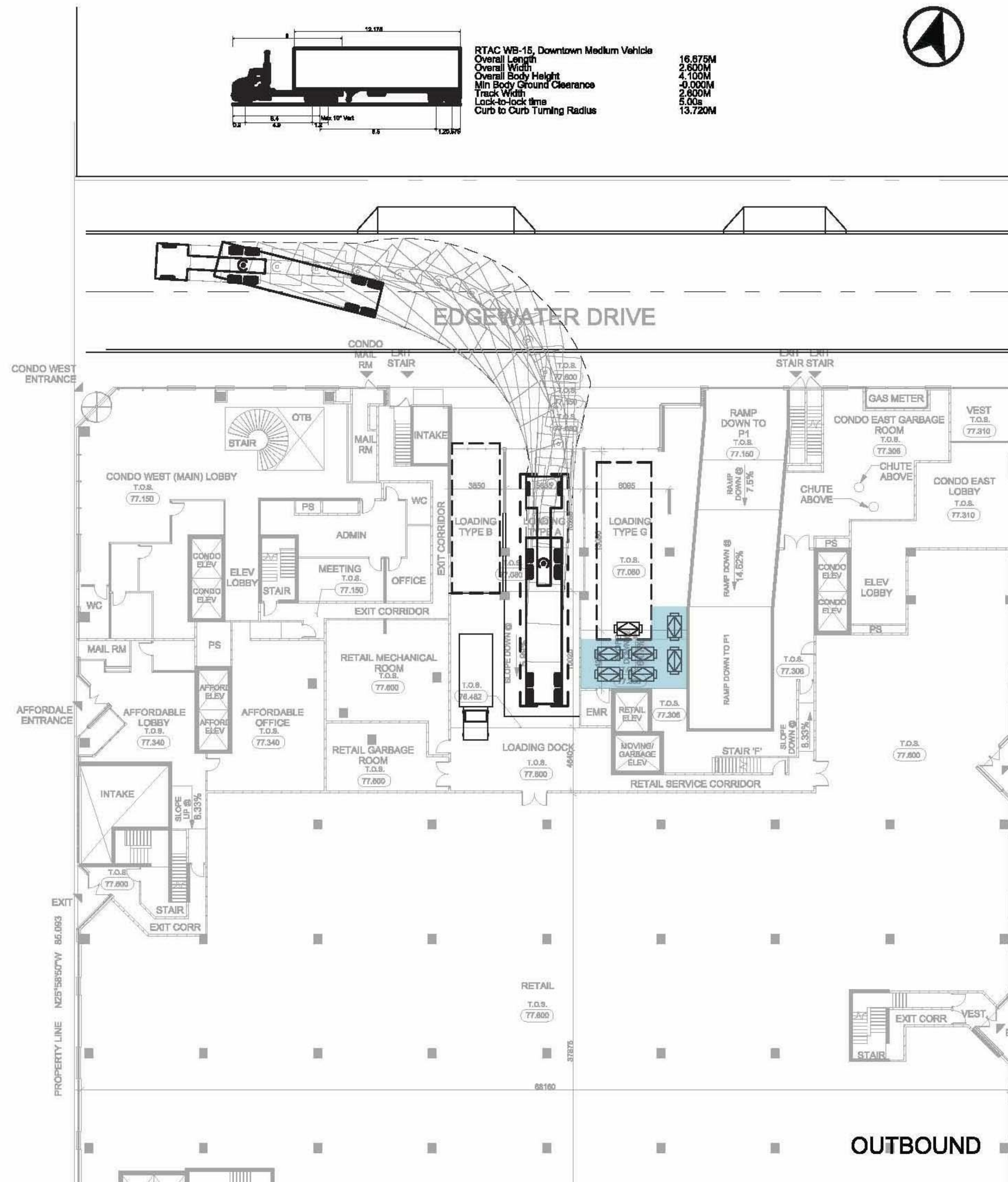
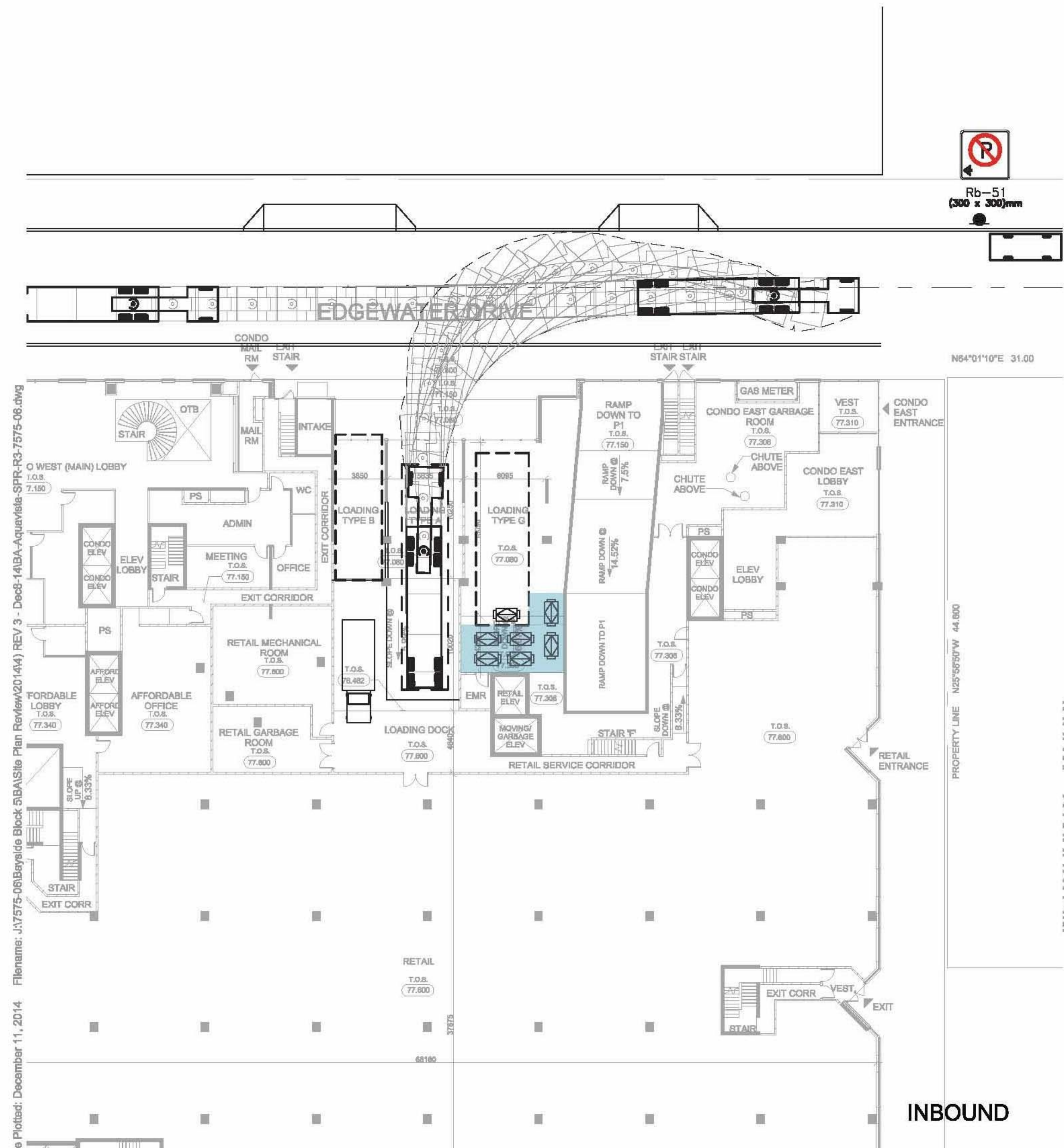
13148

Date

DEC 22 2014

Drawing No.

A2.10





AQUAVISTA - BAYSIDE BLOCK 5
VEHICLE MANOEUVRING DIAGRAM
WB 15 DOWNTOWN MEDIUM VEHICLE - TYPE A LOADING SPACE

Project: Aquavista
Project No. 7575-06
Date: October 27, 2014
Revised: December 9, 2014

Scale
1:400
Drawing No. **VMD-4**

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

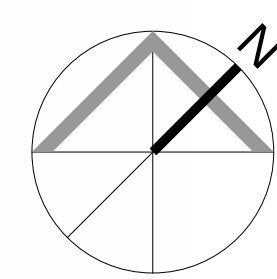
No.	Revision	Date
01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title
**TYPE A TRUCK TURN
DIAGRAM - MEDIUM
TRUCK**

Project

AQUAVISTA
BAYSIDE, TORONTO
Scale

Drawn by
CL
Checked by
CA
Project No.
13148
Date
DEC 22 2014
Drawing No.



A2.11

Date:

No.:	Revision	Date
------	----------	------

Project

12 12

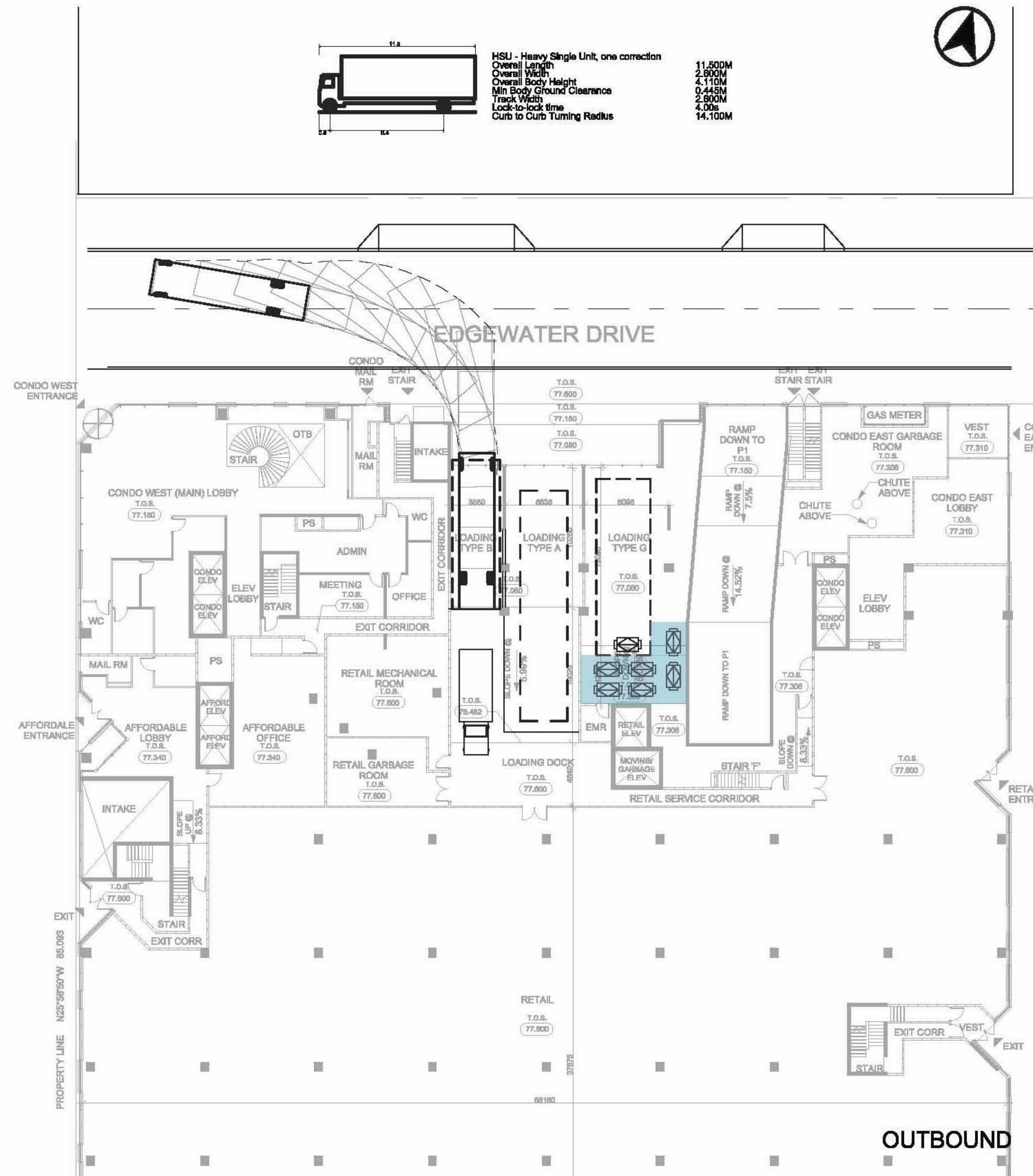
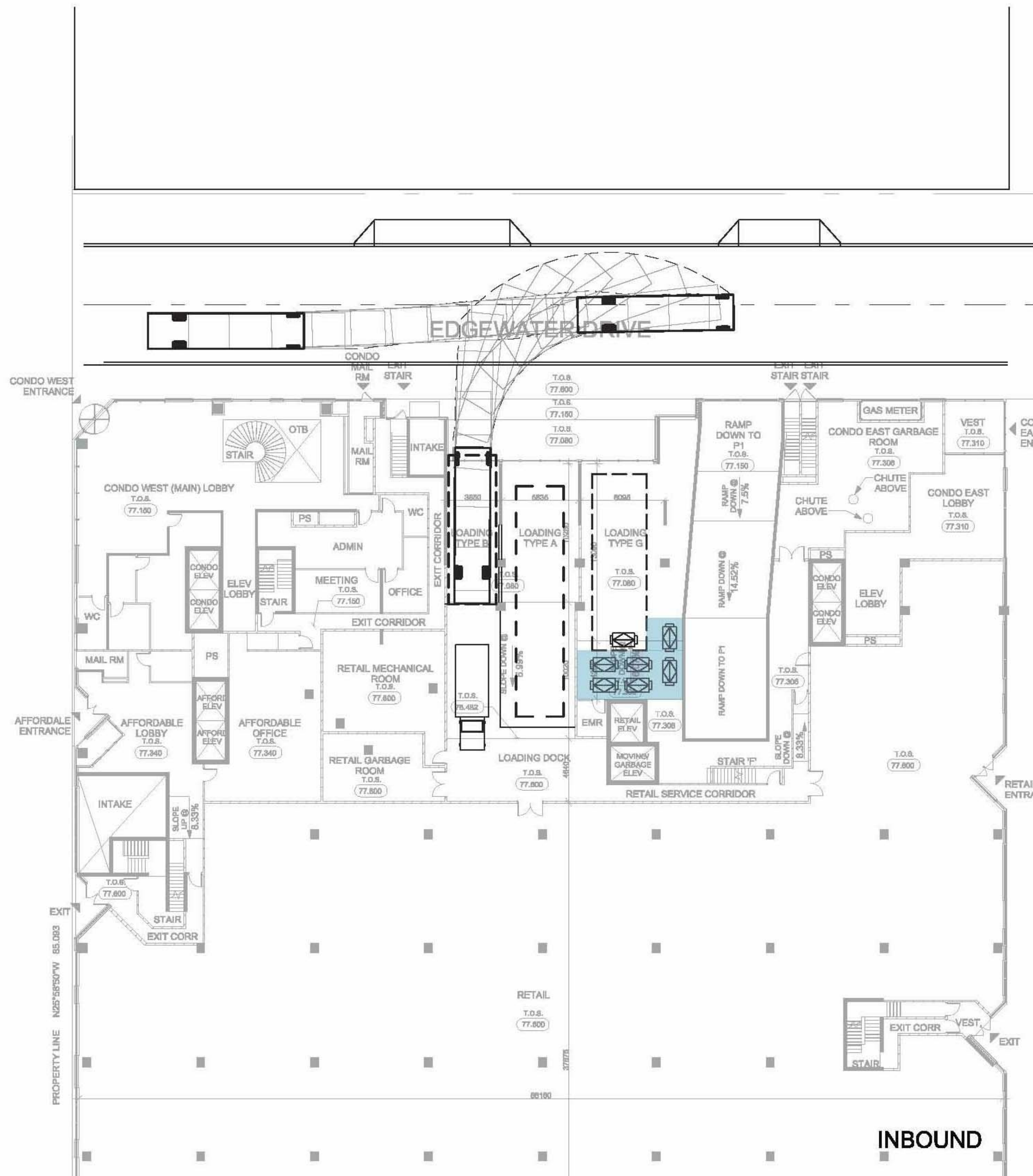


Scale 0 2 4 6 8 10 20m
1:400

Drawing No. **VMD-5**

12 12

File: J:\7575-06\Bayside Block 5\A\Site Plan Review\2014\4\ REV 3 - Dec8-14\BA-Aquavista-SPR-R3-7575-06.dwg
Date Plotted: December 11, 2014



AQUAVISTA - BAYSIDE BLOCK 5
VEHICLE MANOEUVRING DIAGRAM
HEAVY SINGLE UNIT DELIVERY TRUCK - TYPE B LOADING SPACE

Project: Aquavista
Project No. 7575-06
Date: October 27, 2014
Revised: December 9, 2014

Scale: 1:400
Drawing No. **VMD-3**

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.	Revision	Date
01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

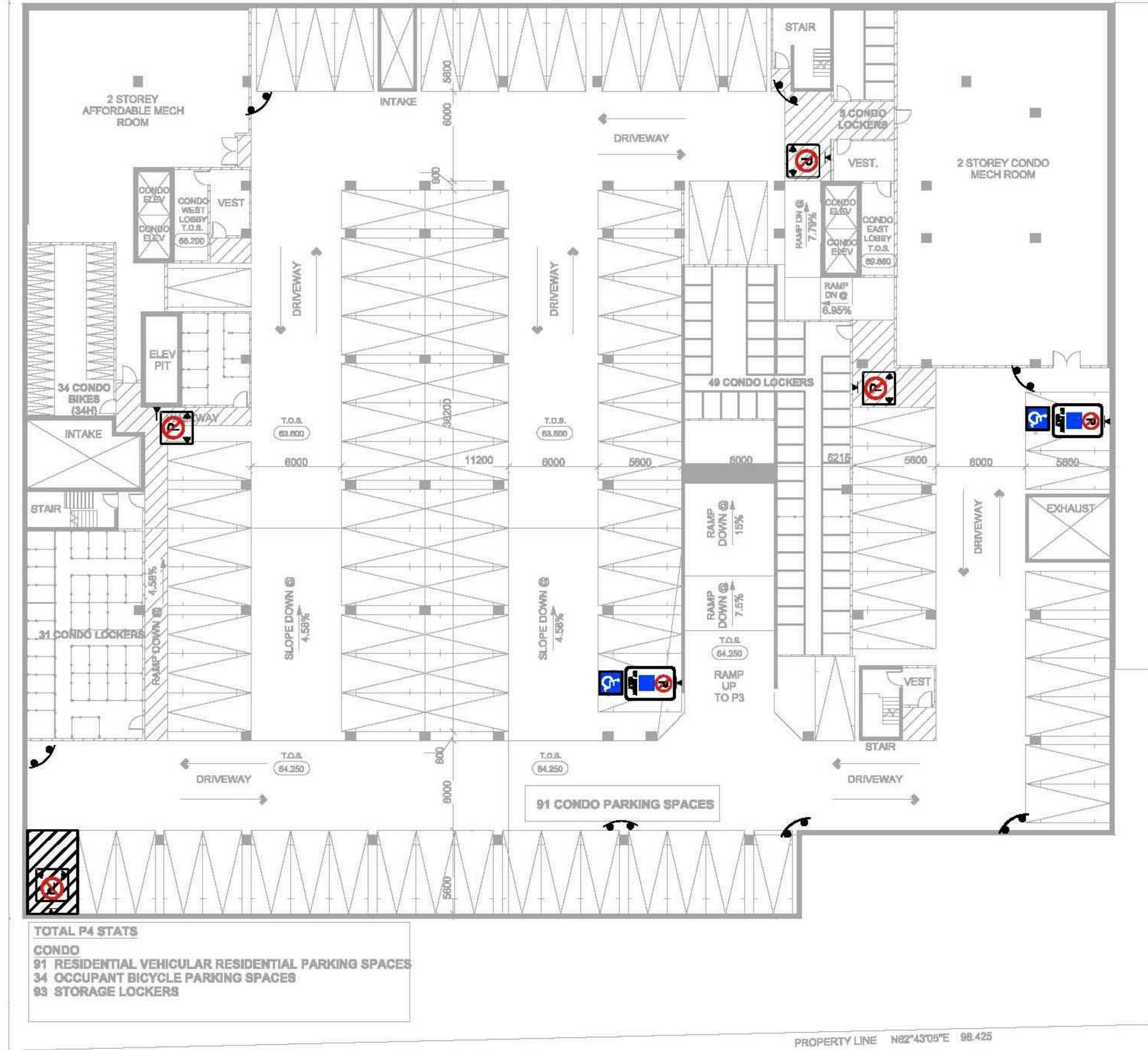
Project Title: TYPE B TRUCK TURN DIAGRAM

Project

AQUAVISTA
BAYSIDE, TORONTO
Scale

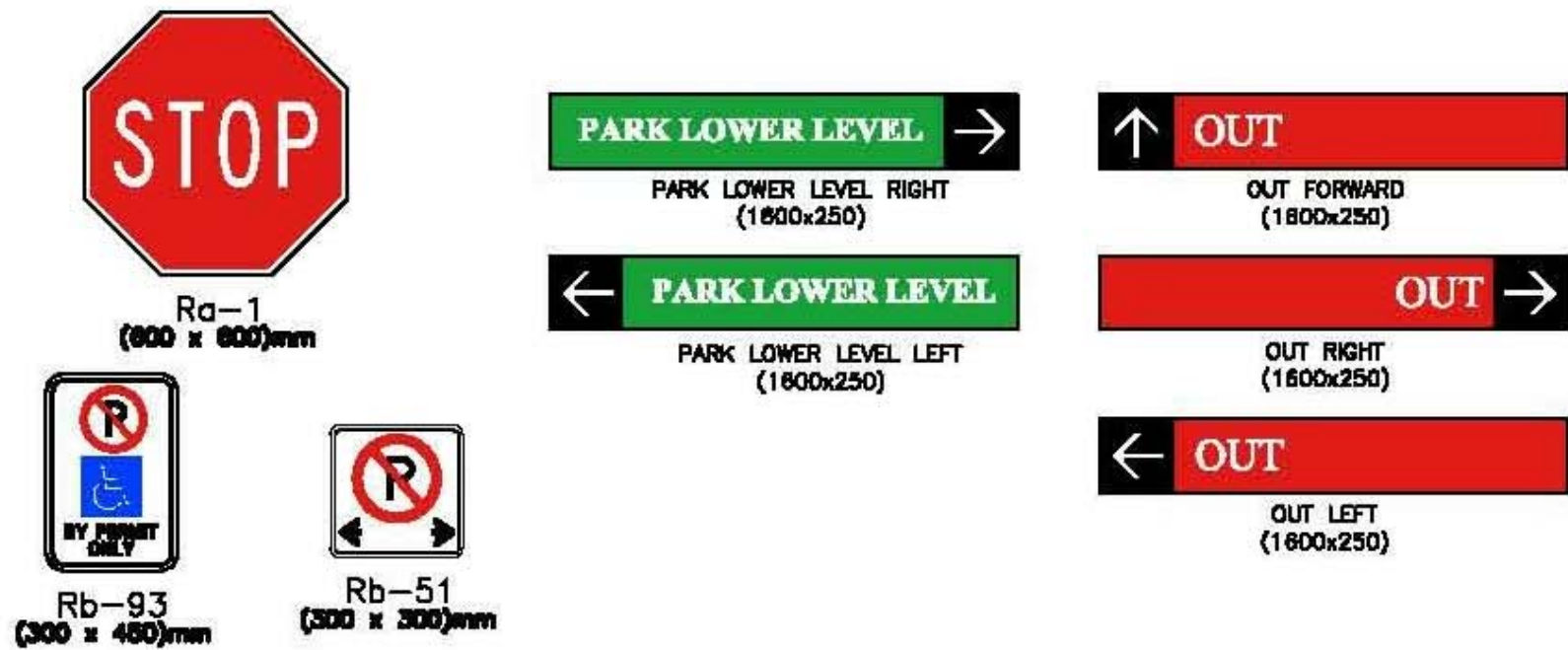
Drawn by: CL
Checked by: CA
Project No. 13148
Date: DEC 22 2014
Drawing No. A2.13

Date Plotted: December 15, 2014 Filename: J:\7575-06\Bayside Block 5\BA\Signage\BA-Aquavista-SN-R0-7575-06.dwg

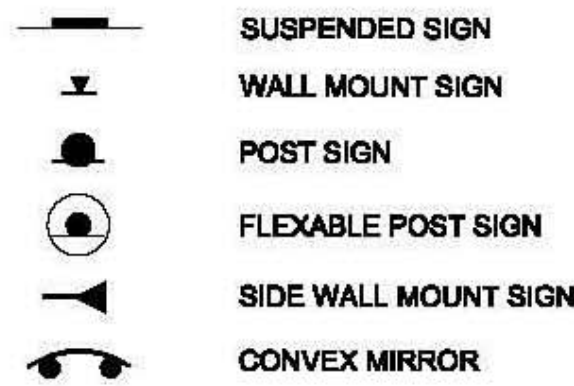


TOTAL P4 STATS
CONDO
91 RESIDENTIAL VEHICULAR PARKING SPACES
34 OCCUPANT BICYCLE PARKING SPACES
93 STORAGE LOCKERS

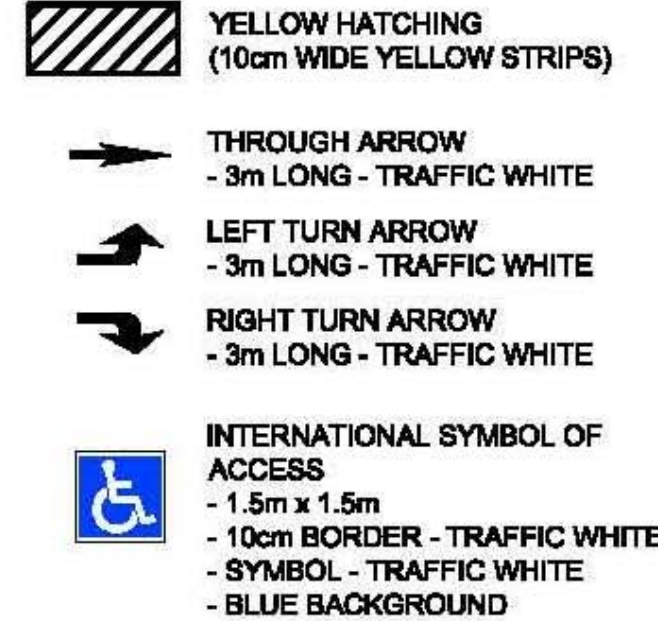
TRAFFIC CONTROL & WAY FINDING SIGN LEGEND:



SIGN MOUNT LEGEND:



PAVEMENT MARKING LEGEND:



NOTE:
MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE/UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE, SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.



AQUAVISTA - BAYSIDE BLOCK 5 SIGNAGE PLAN P4 LEVEL

Project: Aquavista
Project No. 7575-06
Date: December 12, 2014
Revised: December 15, 2014

Scale
1:400
Drawing No. SN-5

AQUAVISTA
BAYSIDE, TORONTO
Scale

Author
CA
13148
DEC 22 2014
Drawing No.

A2.14



Ra-1
(800 x 800)mm

Rb-93
(300 x 450)mm

Rb-51
(300 x 300)mm

PARK LOWER LEVEL
(1800x250)

PARK LOWER LEVEL
(1600x250)

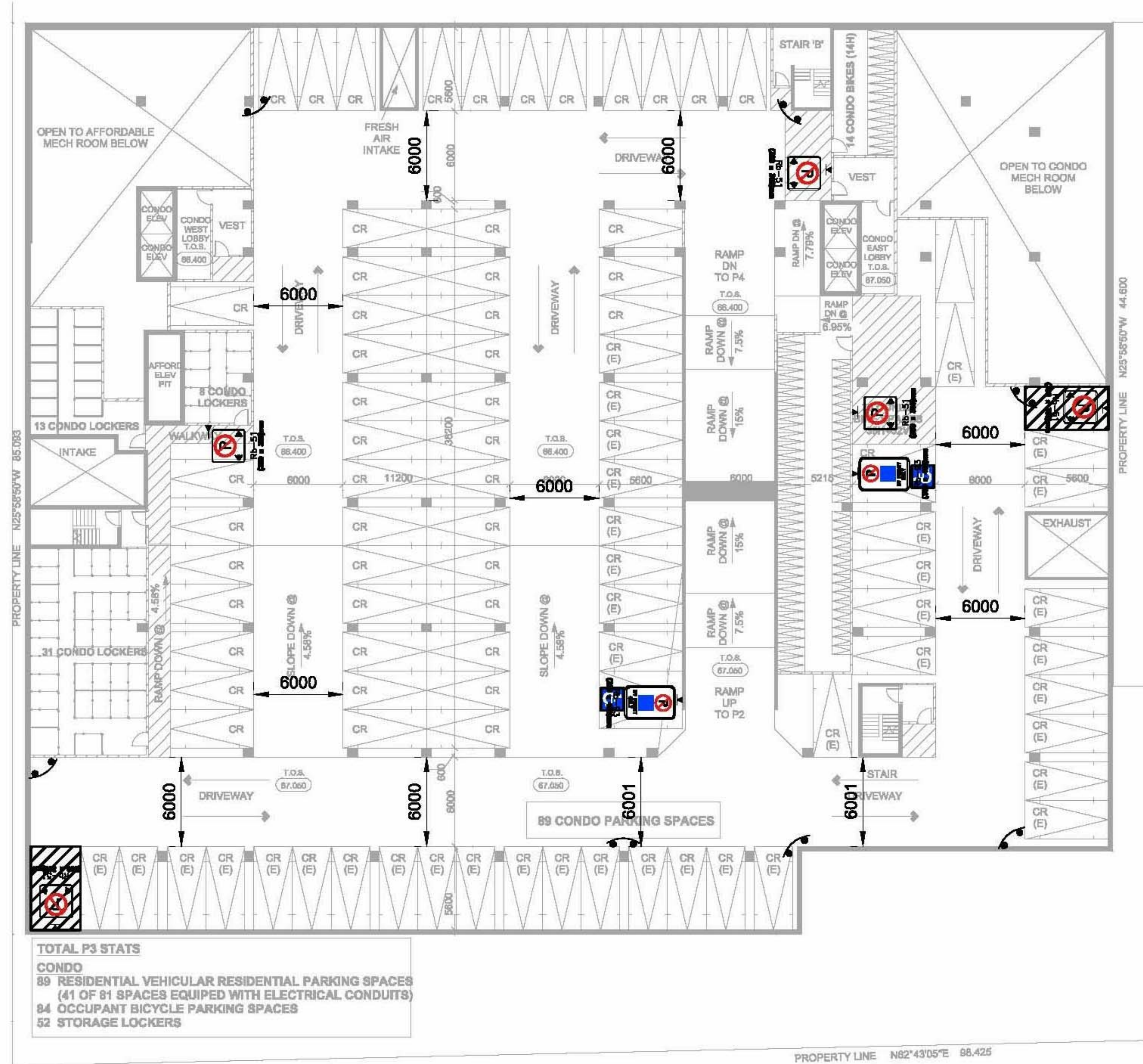
OUT
(1800x250)

OUT
(1600x250)

	SUSPENDED SIGN
	WALL MOUNT SIGN
	POST SIGN
	FLEXIBLE POST SIGN
	SIDE WALL MOUNT SIGN
	CONVEX MIRROR

- **YELLOW HATCHING**
(10cm WIDE YELLOW STRIPS)
- **THROUGH ARROW**
- 3m LONG - TRAFFIC WHITE
- **LEFT TURN ARROW**
- 3m LONG - TRAFFIC WHITE
- **RIGHT TURN ARROW**
- 3m LONG - TRAFFIC WHITE
- **INTERNATIONAL SYMBOL OF ACCESS**
- 1.5m x 1.5m
- 10cm BORDER - TRAFFIC WHITE
- SYMBOL - TRAFFIC WHITE
- BLUE BACKGROUND

NOTE:
MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE/UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE, SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.

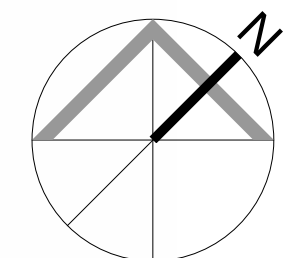


AQUAVISTA - BAYSIDE BLOCK 5
SIGNAGE PLAN
P3 LEVEL

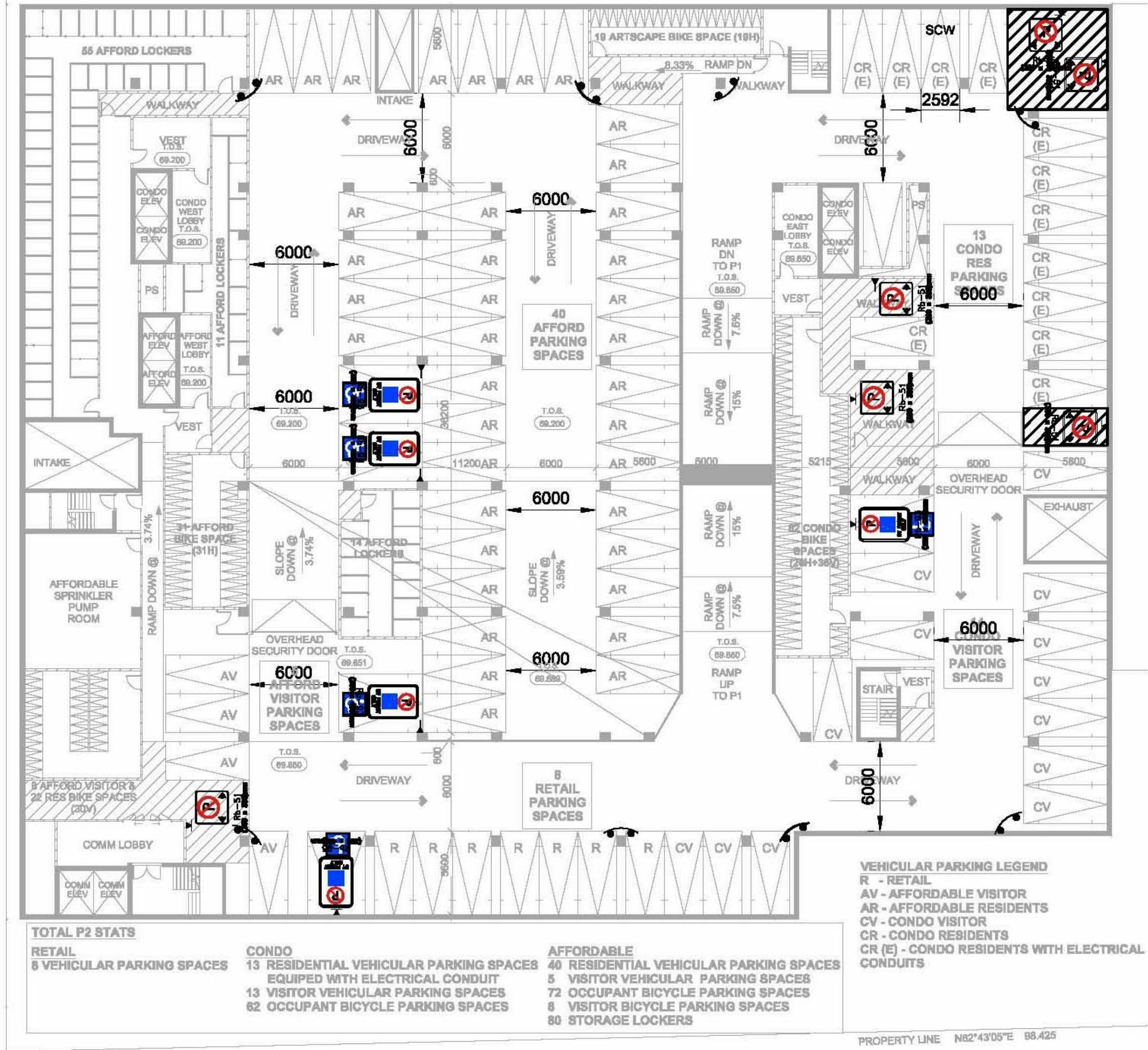
Project: Aquavista
Project No. 7575-06
Date: December 12, 2014
Revised: -

Scale 0 2 4 6 8 10 20m
1:400

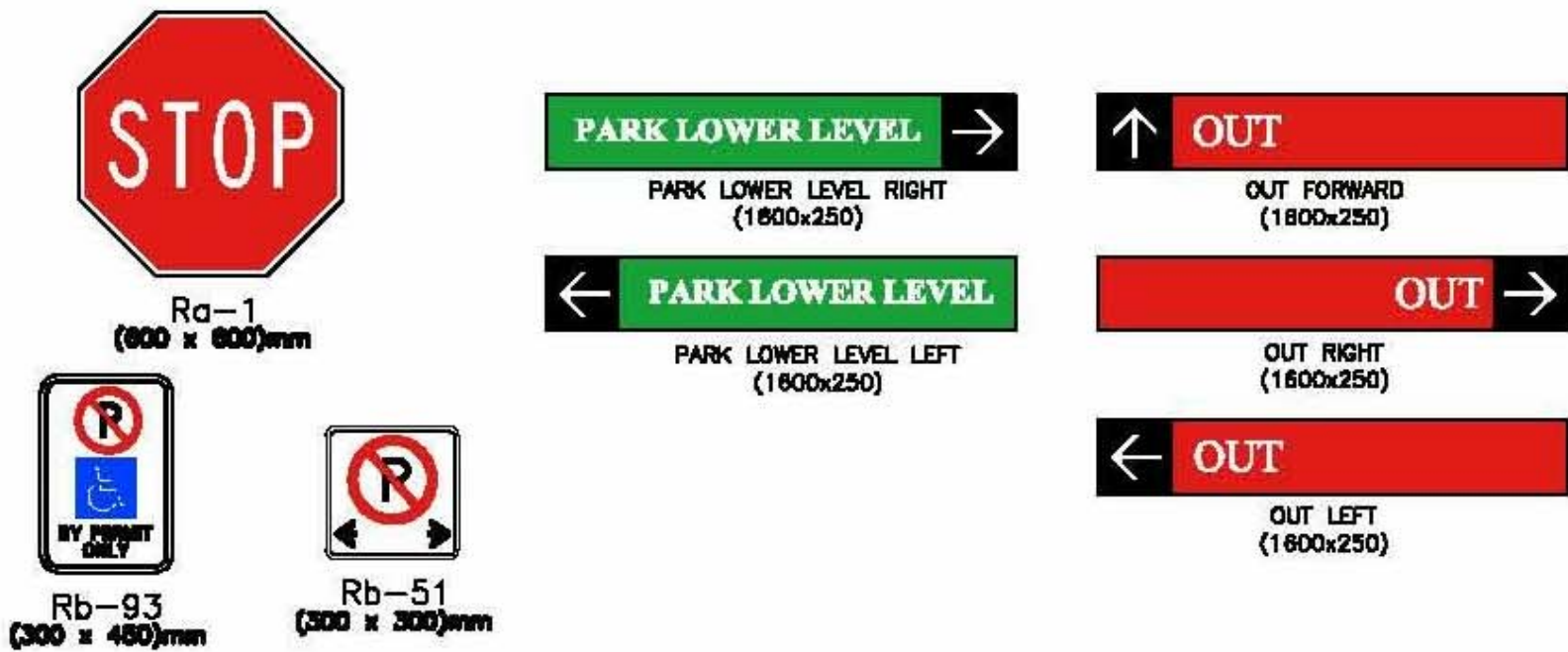
Drawing No. SN-4



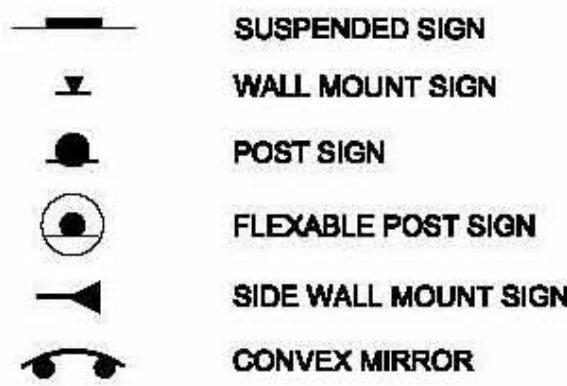
Filename: J:\7575-06\Bayside Block 5\BA\Signage\BA-Aquavista-SN-R0-7575-06.dwg Date Plotted: December 12, 2014



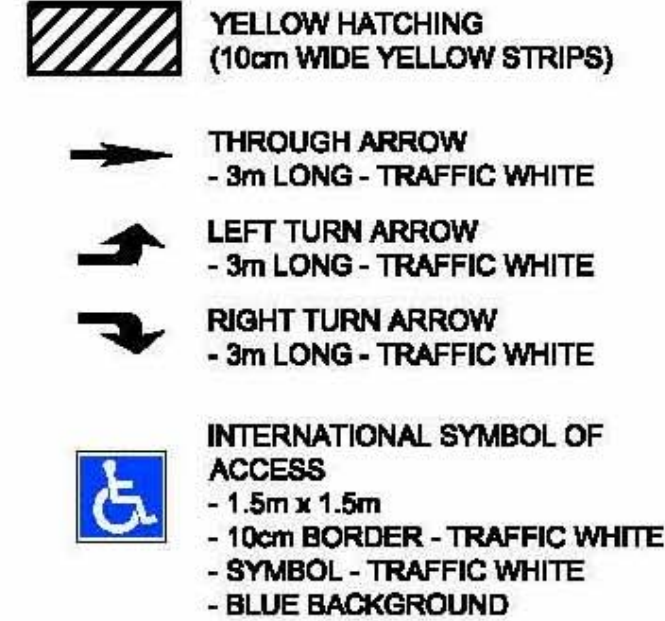
TRAFFIC CONTROL & WAY FINDING SIGN LEGEND:



SIGN MOUNT LEGEND:



PAVEMENT MARKING LEGEND:



NOTE: MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE/UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE, SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

SIGNAGE PLAN - LEVEL P2

Drawing Title

Project



AQUAVISTA - BAYSIDE BLOCK 5
SIGNAGE PLAN
P2 LEVEL

Project: Aquavista
Project No. 7575-06
Date: December 12, 2014
Revised: -

Scale
1:400
Drawing No. SN-3

AQUAVISTA
BAYSIDE, TORONTO
Scale

Author
CA
13148
DEC 22 2014
Date
Project No.
Date
Project

A2.16



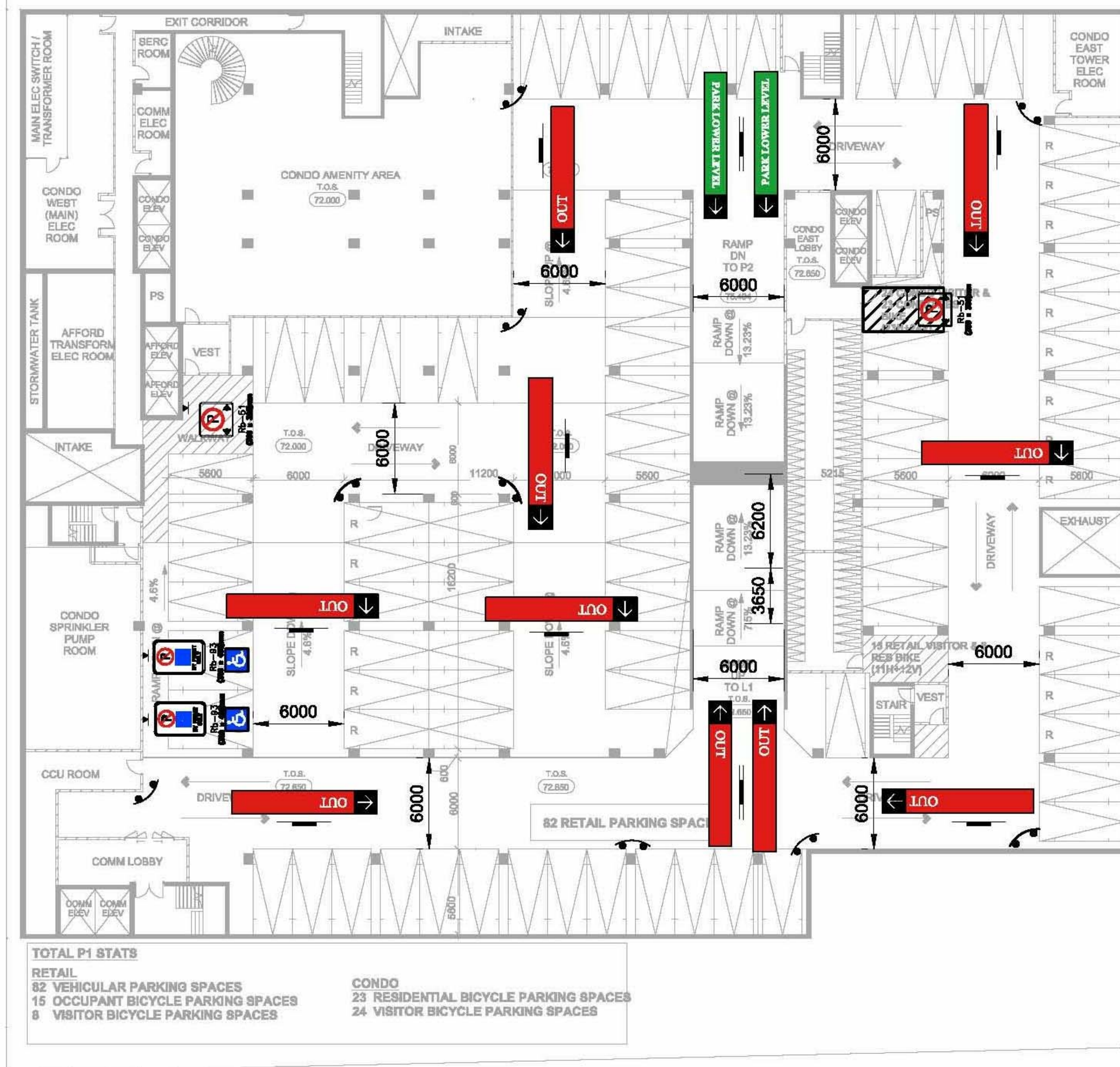
Diagram illustrating various traffic signs and their dimensions:

- STOP Sign (Ra-1):** Red octagonal sign with white text "STOP". Dimensions: 600 x 600 mm.
- Prohibited Parking Sign (Rb-93):** Blue rectangular sign with a red circle and slash over a "P". Dimensions: 300 x 480 mm.
- Prohibited Parking Sign (Rb-51):** White square sign with a red circle and slash over a "P". Dimensions: 300 x 300 mm.
- Park Lower Level Right Sign:** Green rectangular sign with white text "PARK LOWER LEVEL" and a white arrow pointing right. Dimensions: 1600 x 250 mm.
- Park Lower Level Left Sign:** Green rectangular sign with white text "PARK LOWER LEVEL" and a white arrow pointing left. Dimensions: 1600 x 250 mm.
- Out Forward Sign:** Red rectangular sign with white text "OUT" and a white arrow pointing up. Dimensions: 1800 x 250 mm.
- Out Right Sign:** Red rectangular sign with white text "OUT" and a white arrow pointing right. Dimensions: 1600 x 250 mm.
- Out Left Sign:** Red rectangular sign with white text "OUT" and a white arrow pointing left. Dimensions: 1600 x 250 mm.

	SUSPENDED SIGN
	WALL MOUNT SIGN
	POST SIGN
	FLEXIBLE POST SIGN
	SIDE WALL MOUNT SIGN
	CONVEX MIRROR

	YELLOW HATCHING (10cm WIDE YELLOW STRIPS)
	THROUGH ARROW - 3m LONG - TRAFFIC WHITE
	LEFT TURN ARROW - 3m LONG - TRAFFIC WHITE
	RIGHT TURN ARROW - 3m LONG - TRAFFIC WHITE
	INTERNATIONAL SYMBOL OF ACCESS - 1.5m x 1.5m - 10cm BORDER - TRAFFIC WHITE - SYMBOL - TRAFFIC WHITE - BLUE BACKGROUND

NOTE:
MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE/UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE, SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.

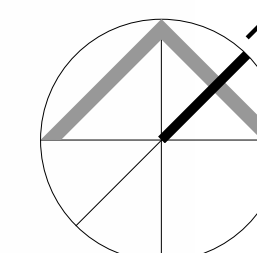


AQUAVISTA - BAYSIDE BLOCK 5
SIGNAGE PLAN
P1 LEVEL

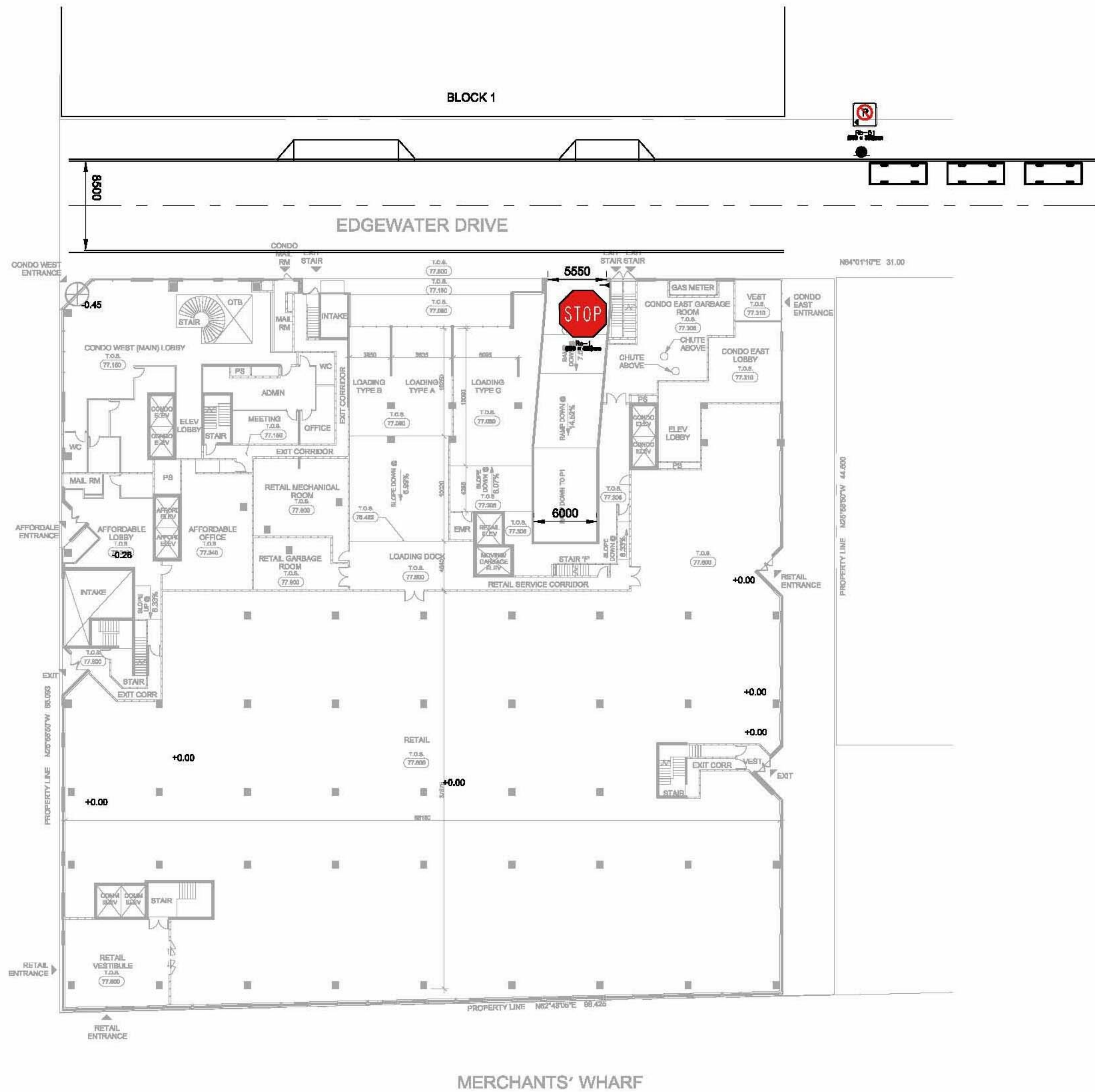
Project: Aquavista
Project No. 7575-06
Date: December 12, 2014
Revised: -

Scale 0 2 4 6 8 10 20m
1:400

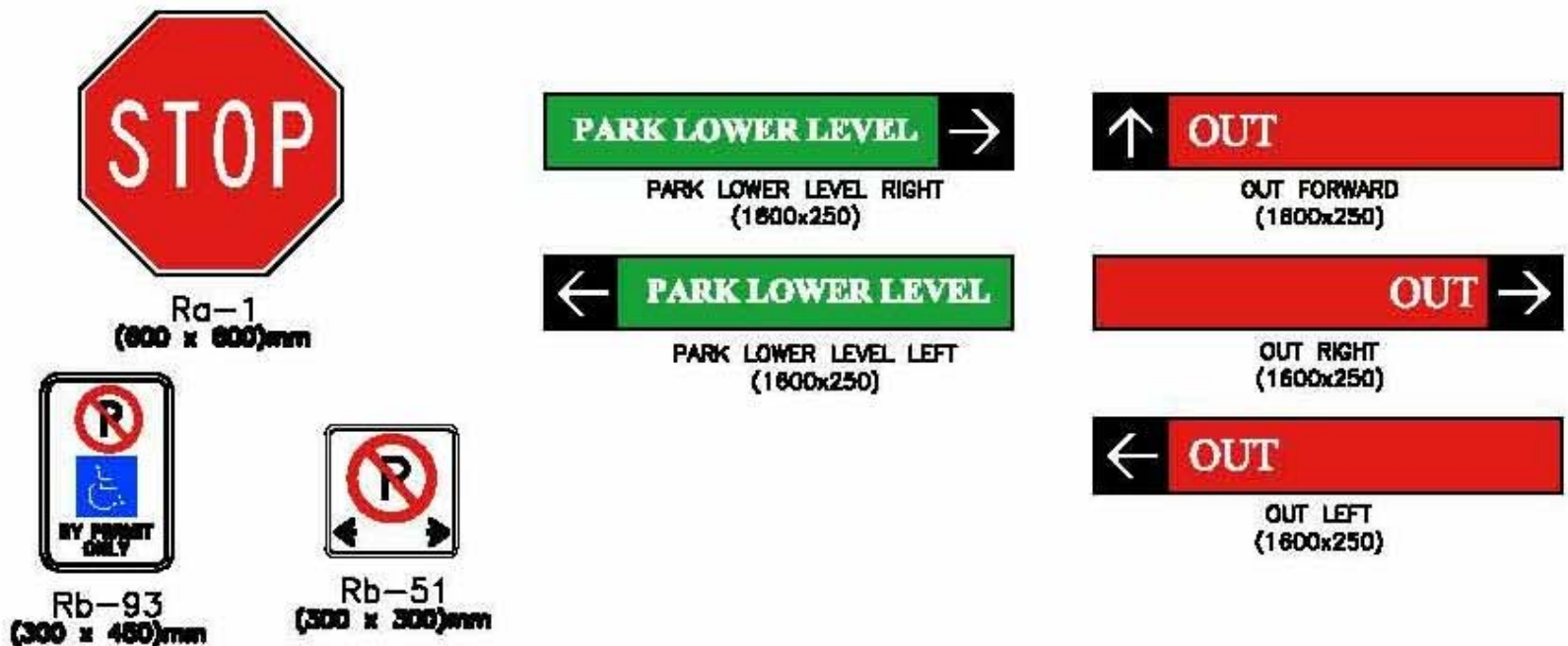
Drawing No. SN-2



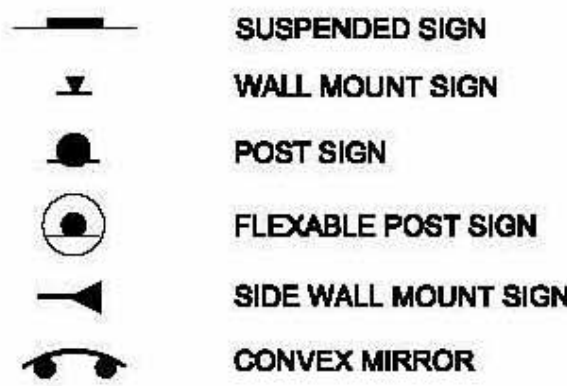
Data Plotter: December 12, 2014 File Name: J:\17575-06\Bayside Block 5\BA\Signage\BA-Aquavista-SN-R0-7575-06.dwg



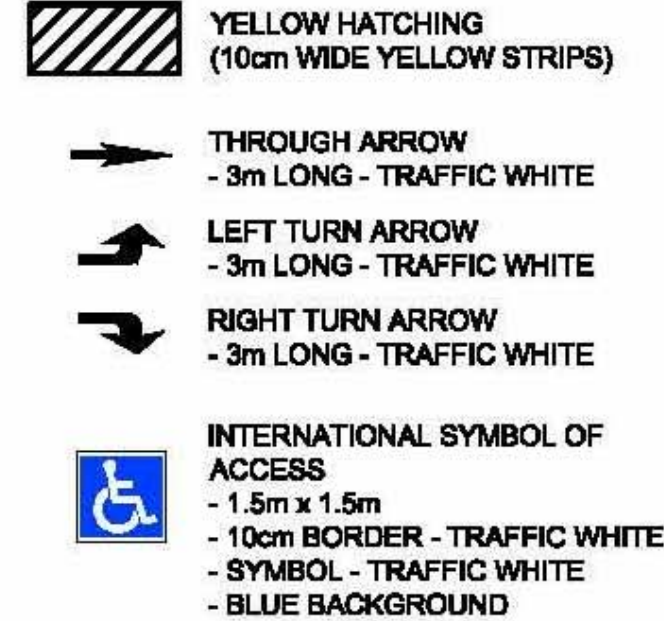
TRAFFIC CONTROL & WAY FINDING SIGN LEGEND:



SIGN MOUNT LEGEND:



PAVEMENT MARKING LEGEND:



NOTE:
MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE/UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE, SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01 SPA SUBMISSION DEC.12, 2014
No Issued For Date

Drawing Title

SIGNAGE PLAN - LEVEL 1

Project



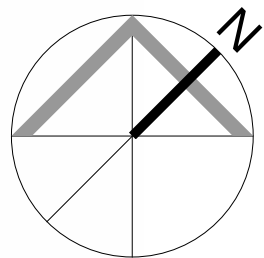
AQUAVISTA - BAYSIDE BLOCK 5 SIGNAGE PLAN GROUND FLOOR

Project: Aquavista
Project No. 7575-06
Date: December 12, 2014
Revised: -

Scale 1:400
0 2 4 6 8 10 20m
Drawing No. SN-1

AQUAVISTA
BAYSIDE, TORONTO
Scale

Author
CA
13148
DEC 22 2014
Date
Project No.
Checked by
Drawn by



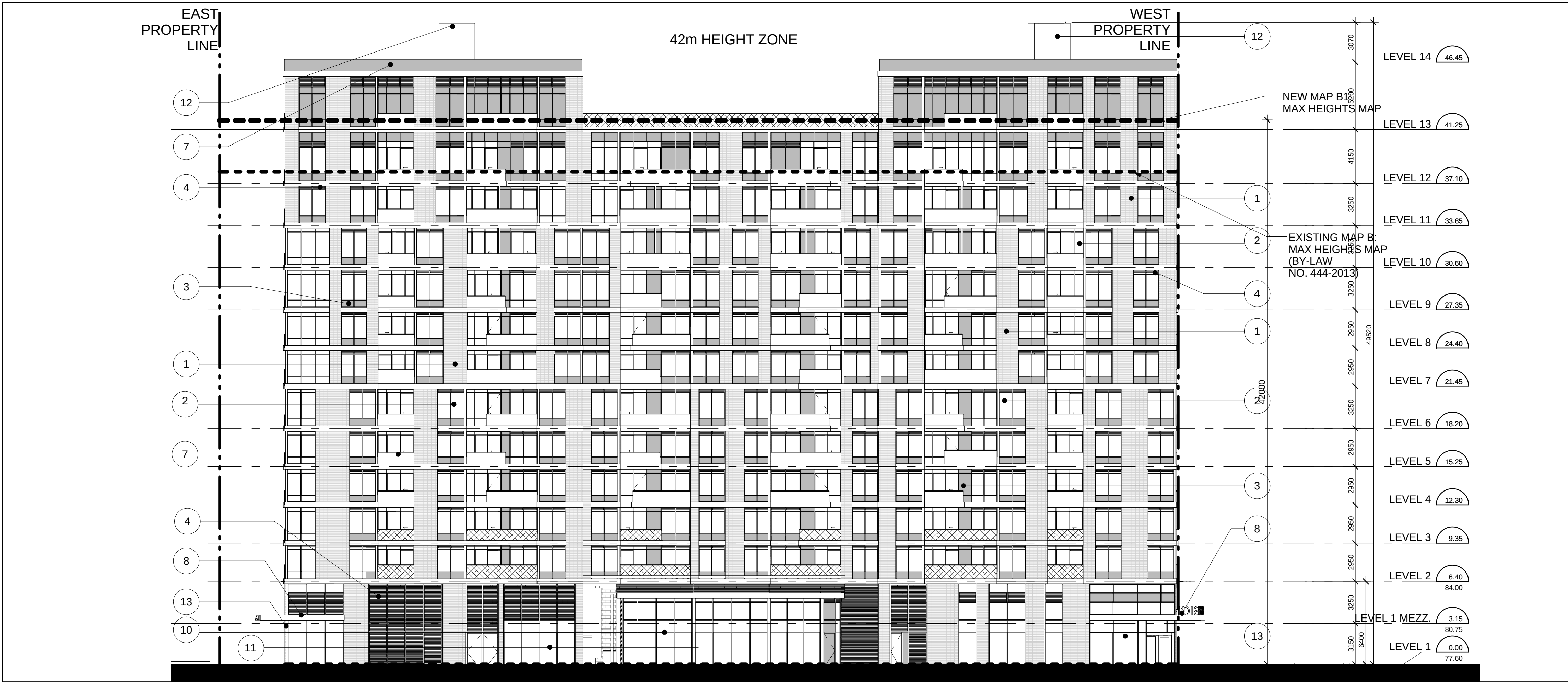
A2.18



SOUTH ELEVATION 3
Scale: 1 : 200 A4.1

- 1 BRICK - GRAY
- 2 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - VISION
- 3 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - SPANDREL
- 4 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - METAL LOUVRE
- 5 CURTAINWALL - VISION
- 6 CURTAINWALL - SHADOW BOX
- 7 GLAZED RAILING SYSTEM
- 8 CANOPY
- 9 RETAIL SIGNAGE
- 10 LOADING BAY AREA
- 11 BELOWGRADE PARKING ENTRANCE
- 12 ELEVATOR MACHINE ROOM
- 13 CONDO ENTRANCE
- 14 AFFORDABLE ENTRANCE
- 15 RETAIL ENTRANCE

GLAZING FRITTED TO COMPLY WITH TGS EC 4.1



NORTH ELEVATION 2
Scale: 1 : 200 A4.1

EXTERIOR FINISH SCHEDULE 1
NTS A4.1

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

NORTH & SOUTH
ELEVATION

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

1 : 200

Drawn by

Author

Checked by

Checker

Project No.

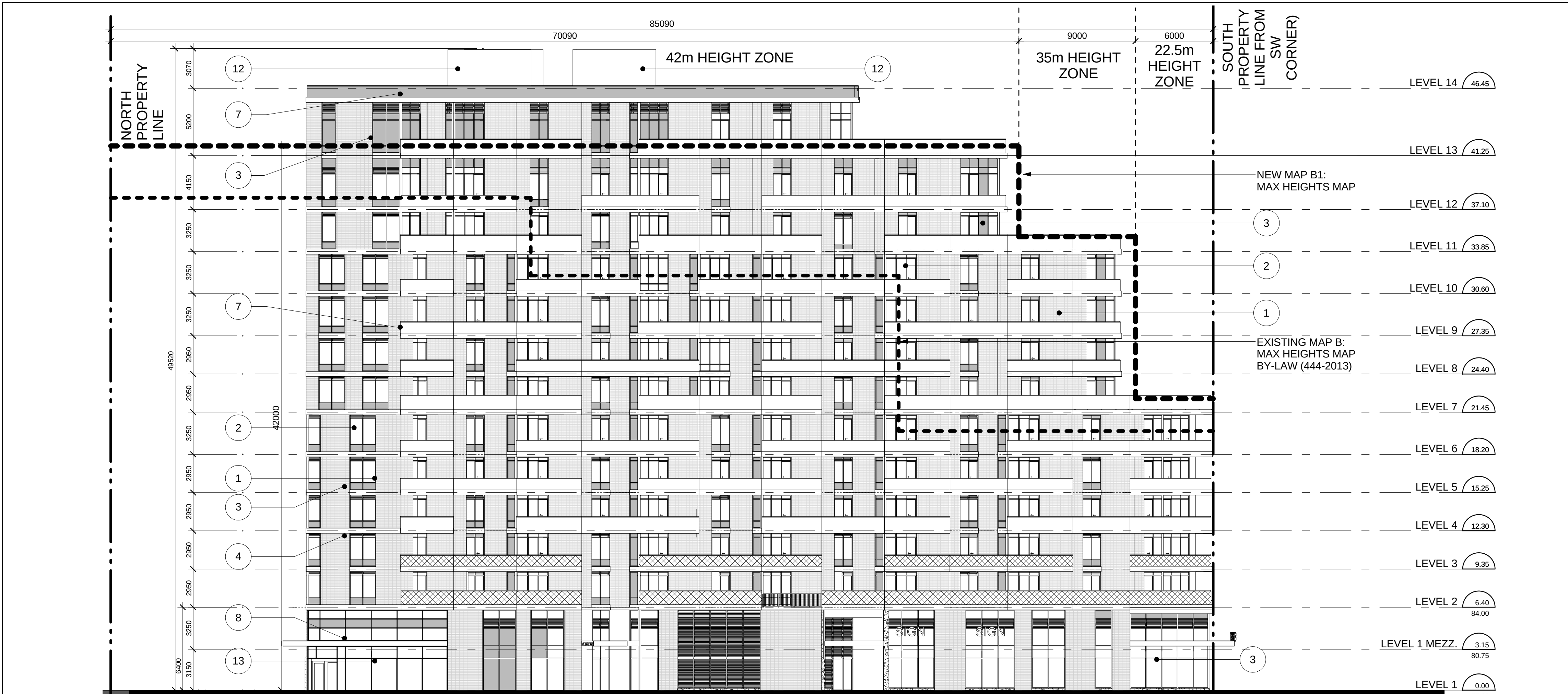
13148

Date

DEC 22 2014

Drawing No.

A4.1

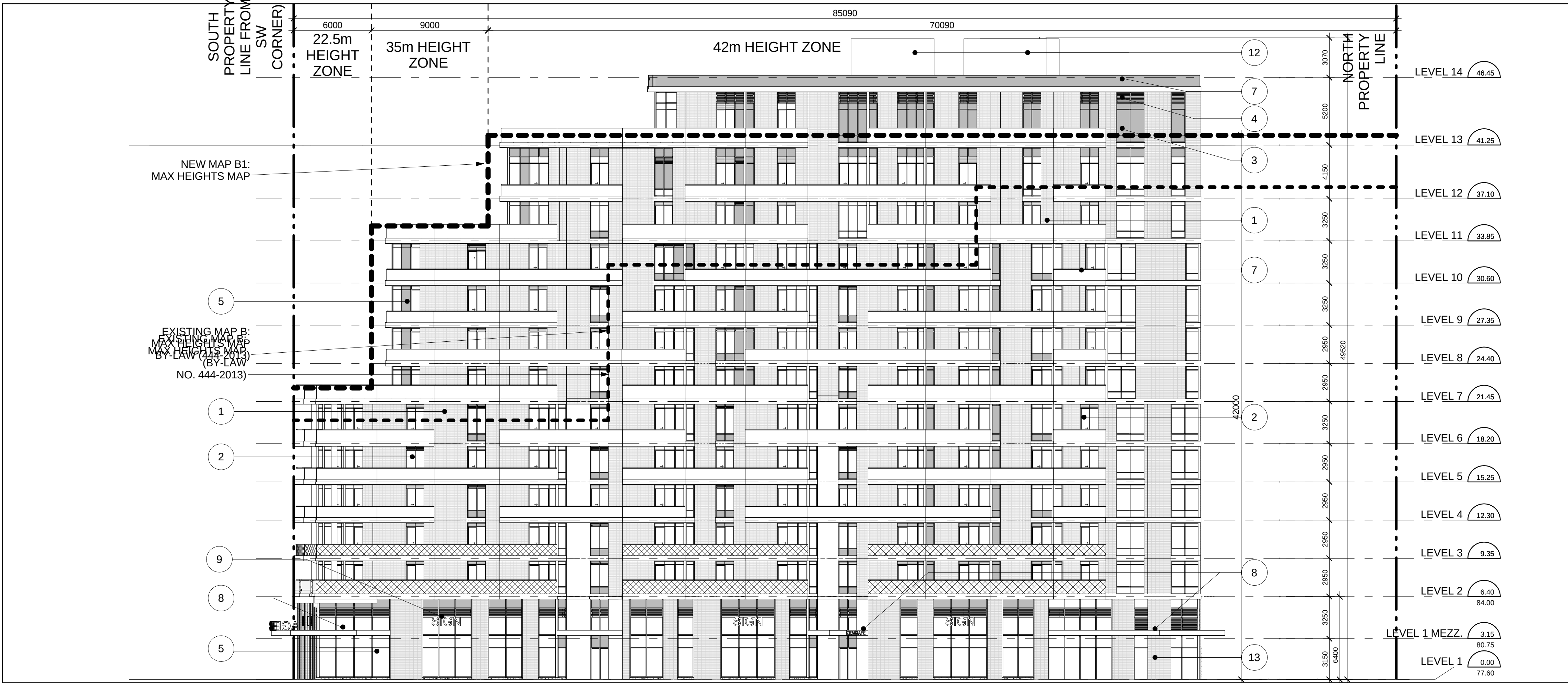


WEST ELEVATION

Scale: 1 : 200

3

A4.2



EAST ELEVATION

Scale: 1 : 200

2

A4.2

- 1 BRICK - GRAY
- 2 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - VISION
- 3 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - SPANDREL
- 4 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - METAL LOUVRE
- 5 CURTAINWALL - VISION
- 6 CURTAINWALL - SHADOW BOX
- 7 GLAZED RAILING SYSTEM
- 8 CANOPY
- 9 RETAIL SIGNAGE
- 10 LOADING BAY AREA
- 11 BELOWGRADE PARKING ENTRANCE
- 12 ELEVATOR MACHINE ROOM
- 13 CONDO ENTRANCE
- 14 AFFORDABLE ENTRANCE
- 15 RETAIL ENTRANCE

GLAZING FRITTED TO COMPLY WITH TGS EC 4.1

EXTERIOR FINISH SCHEDULE

NTS

1

A4.2

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR | architects
& planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

EAST & WEST ELEVATION

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

1 : 200

Drawn by

Author

Checked by

Checker

Project No.

13148

Date

DEC 22 2014

Drawing No.

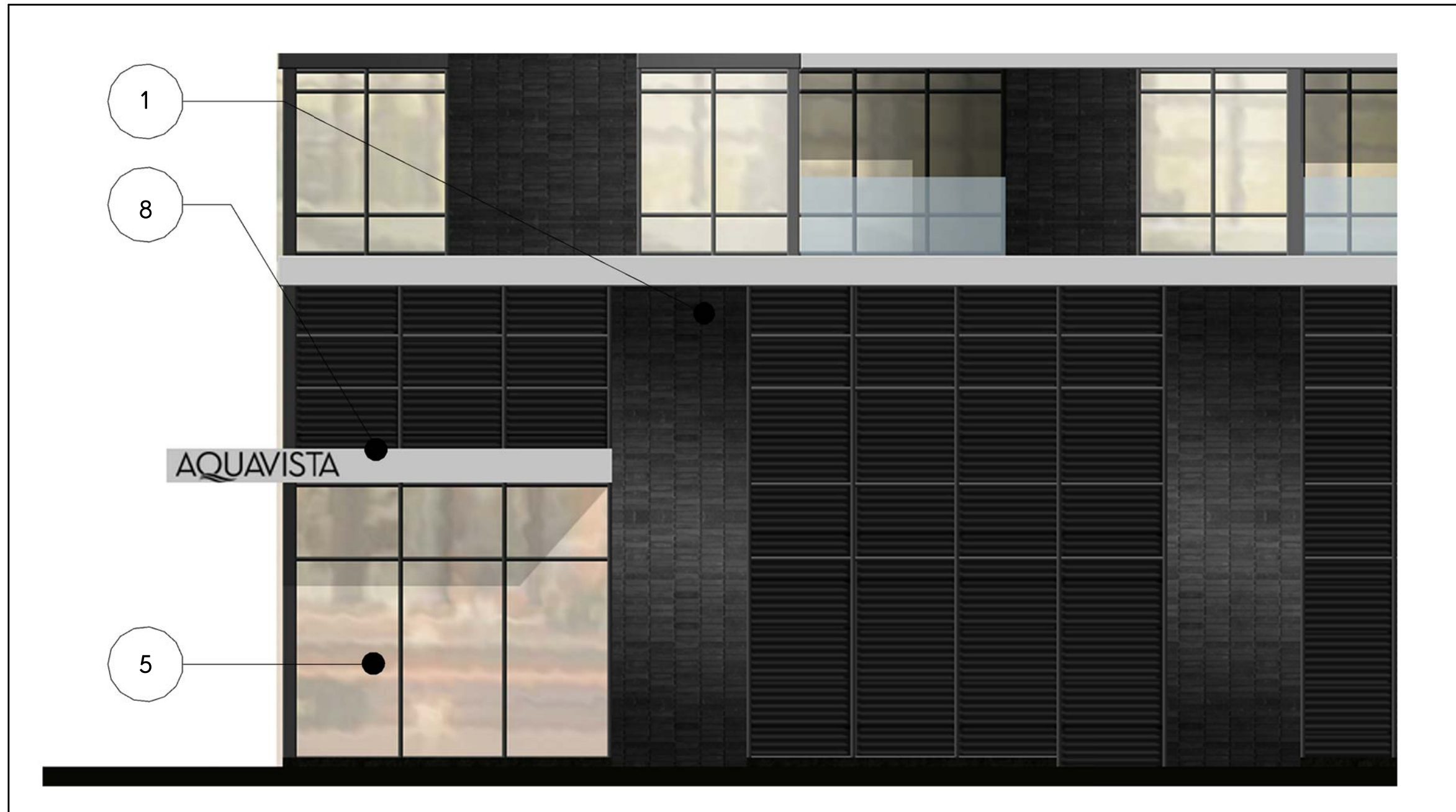
A4.2



1 TO 50 CONDO & AFFORDABLE LOBBY - WEST ELEVATION (MERCHANTS' WHARF)

Scale: 1 : 50

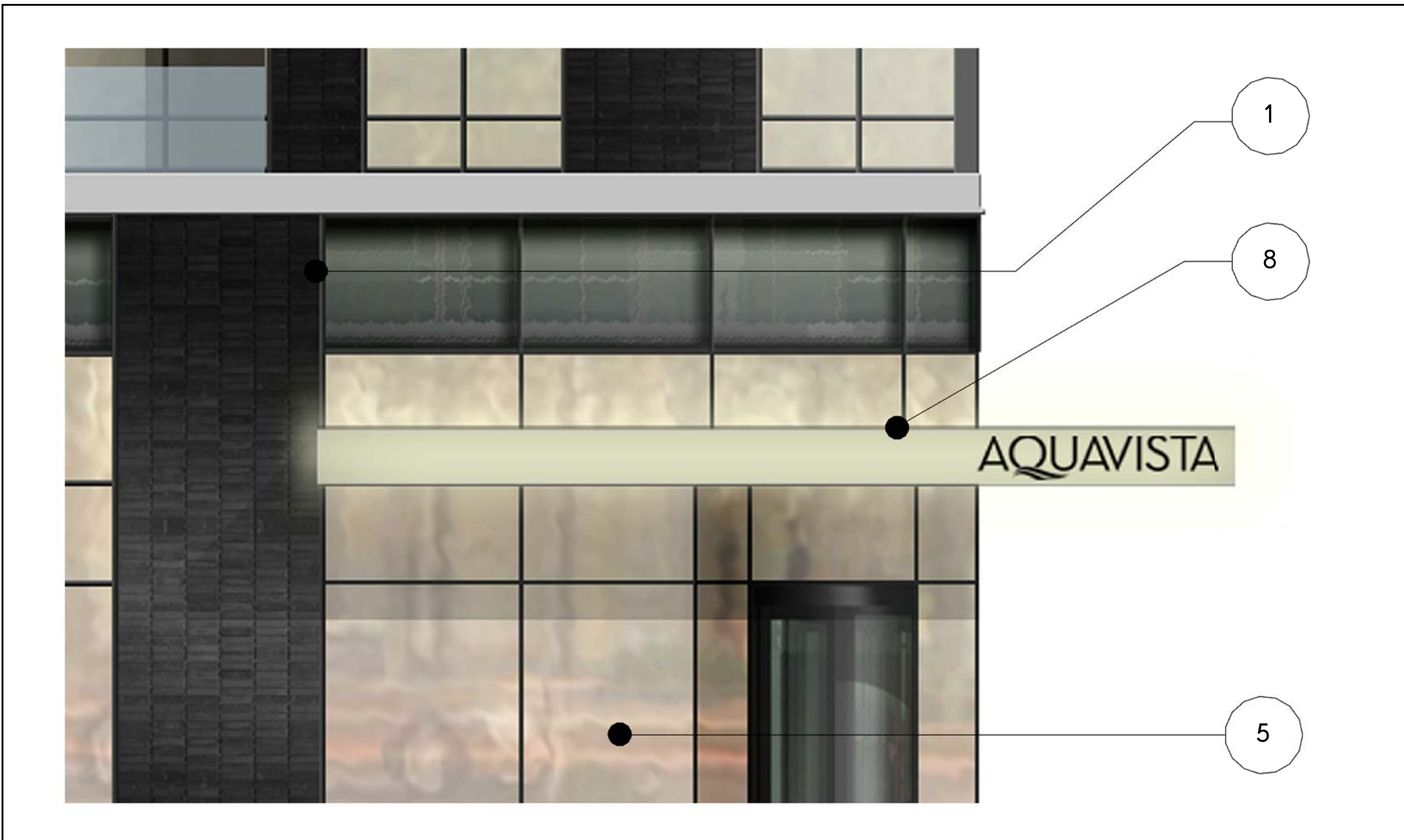
3
A4.3



1 TO 50 EAST CONDO LOBBY - NORTH ELEVATION (EDGEWATER DRIVE)

Scale: 1 : 50

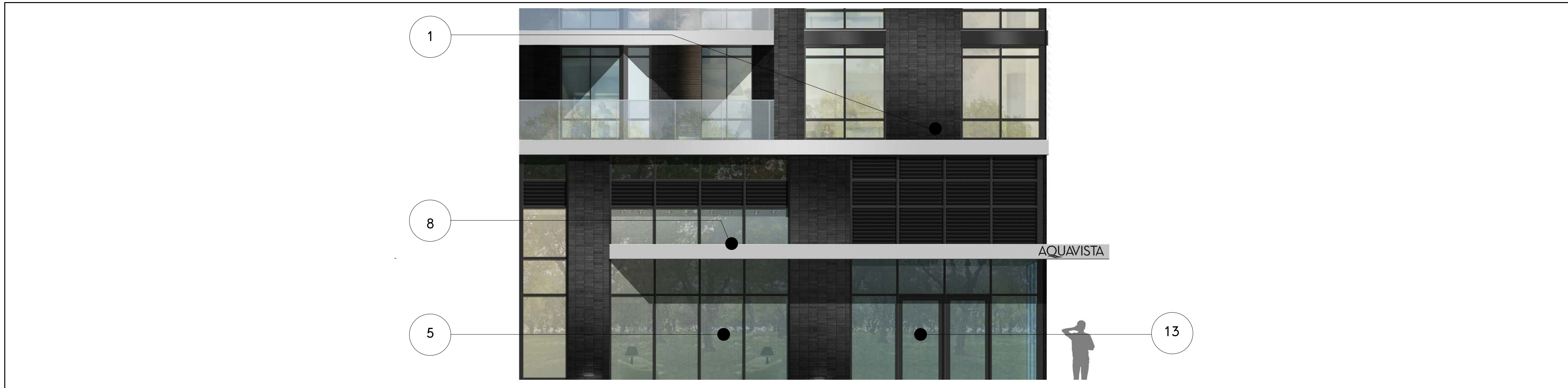
1
A4.3



1 TO 50 WEST CONDO LOBBY - NORTH ELEVATION (EDGEWATER DRIVE)

Scale: 1 : 50

2
A4.3



1 TO 50 EAST CONDO LOBBY - EAST ELEVATION

Scale: 1 : 50

4
A4.3

- 1 BRICK - GRAY
- 2 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - VISION
- 3 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - SPANDREL
- 4 PREFINISHED ALUMINIUM WINDOW WALL SYSTEM - METAL LOUVRE
- 5 CURTAINWALL - VISION
- 6 CURTAINWALL - SHADOW BOX
- 7 GLAZED RAILING SYSTEM
- 8 CANOPY
- 9 RETAIL SIGNAGE
- 10 LOADING BAY AREA
- 11 BELOWGRADE PARKING ENTRANCE
- 12 ELEVATOR MACHINE ROOM
- 13 CONDO ENTRANCE
- 14 AFFORDABLE ENTRANCE
- 15 RETAIL ENTRANCE

EXTERIOR FINISH SCHEDULE

NTS

1
A4.3

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

1 TO 50 COLORED
ELEVATIONS

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale

1 : 50

Drawn by

CL

Checked by

CA

Project No.

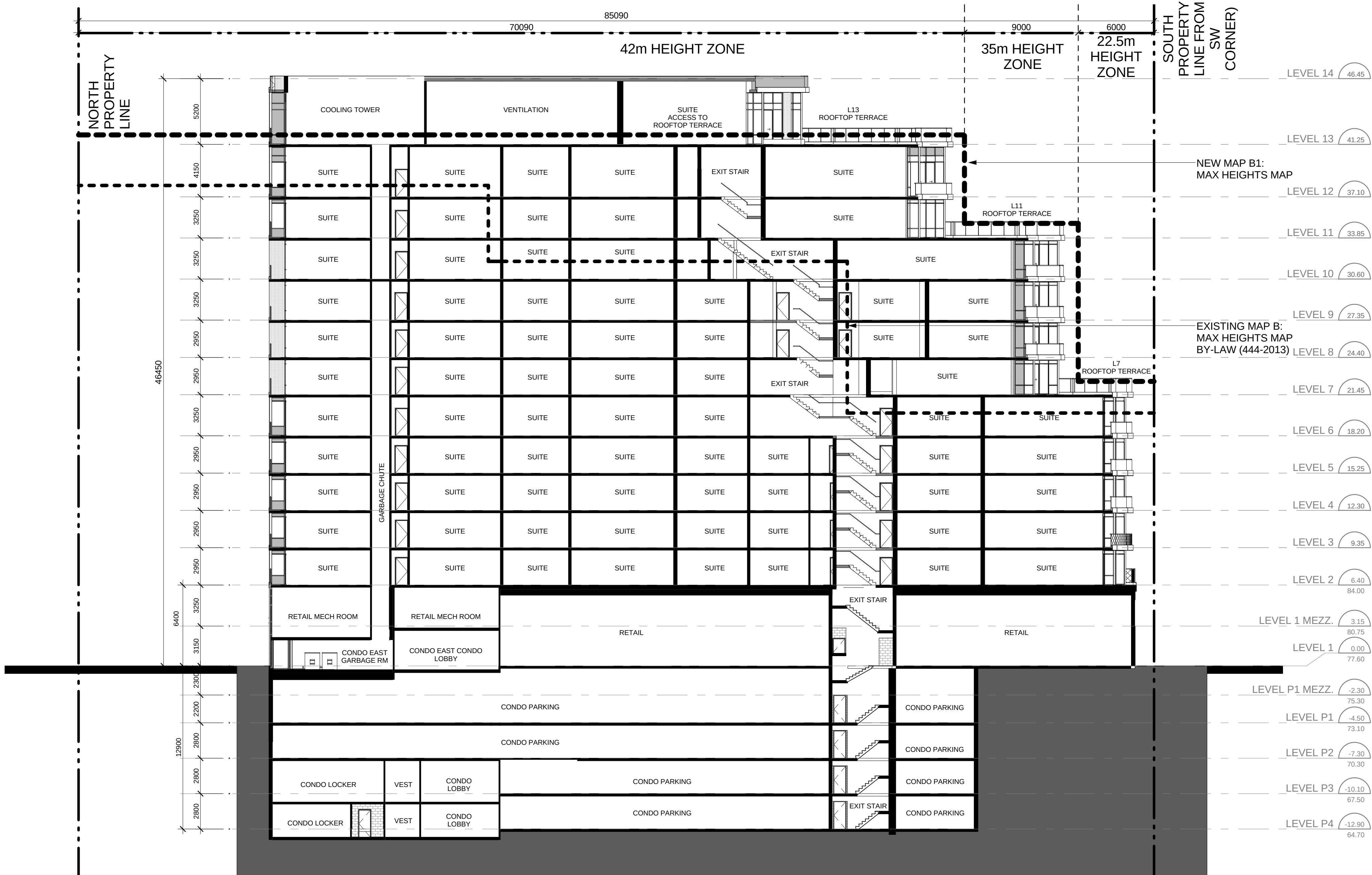
13148

Date

DEC 18 2014

Drawing No.

A4.3



Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.

Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.

This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR | **architects
& planners**

20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
------	----------	------

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

BUILDING SECTIONS - EAST-WEST & STORMWATER TANK

project

AQUAVISTA

BAYSIDE, TORONTO

Scale
1 : 200

author

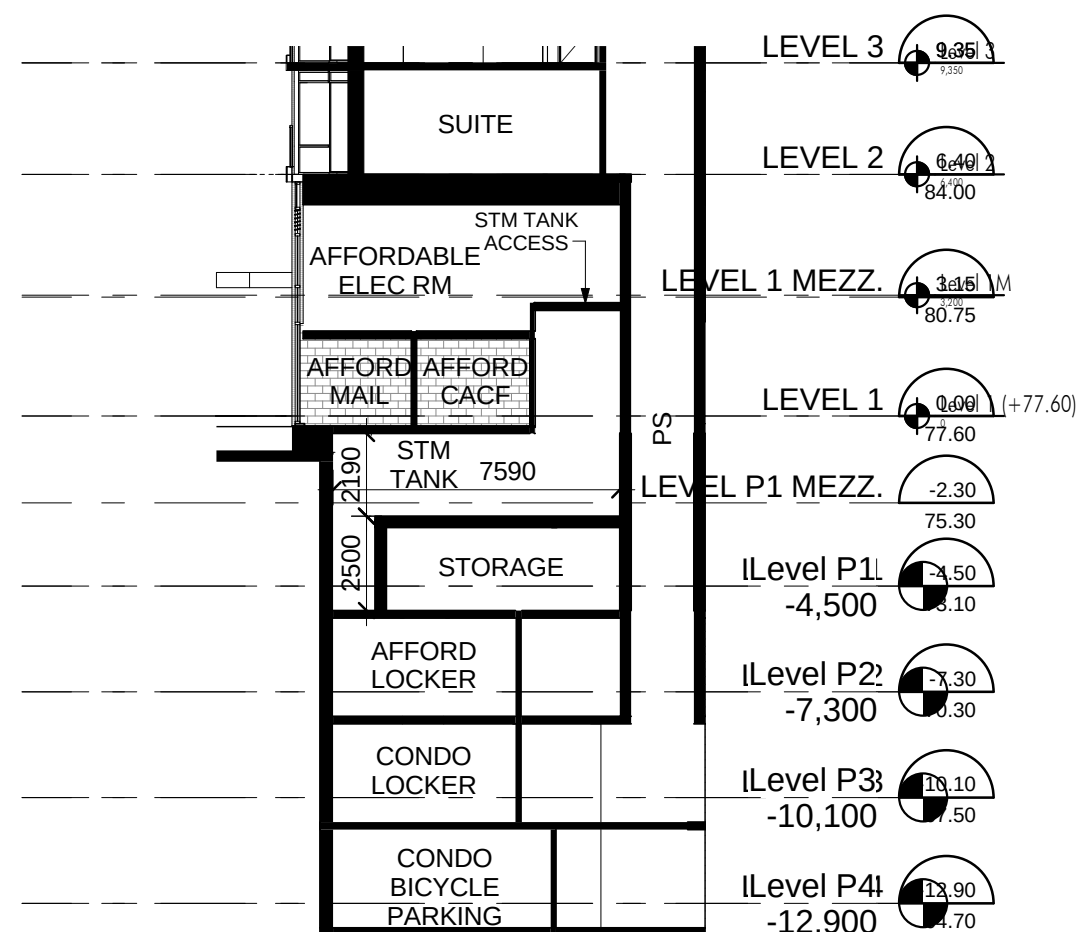
Checked by	
------------	--

3148	Project No.
------	-------------

EC. 12. 2014

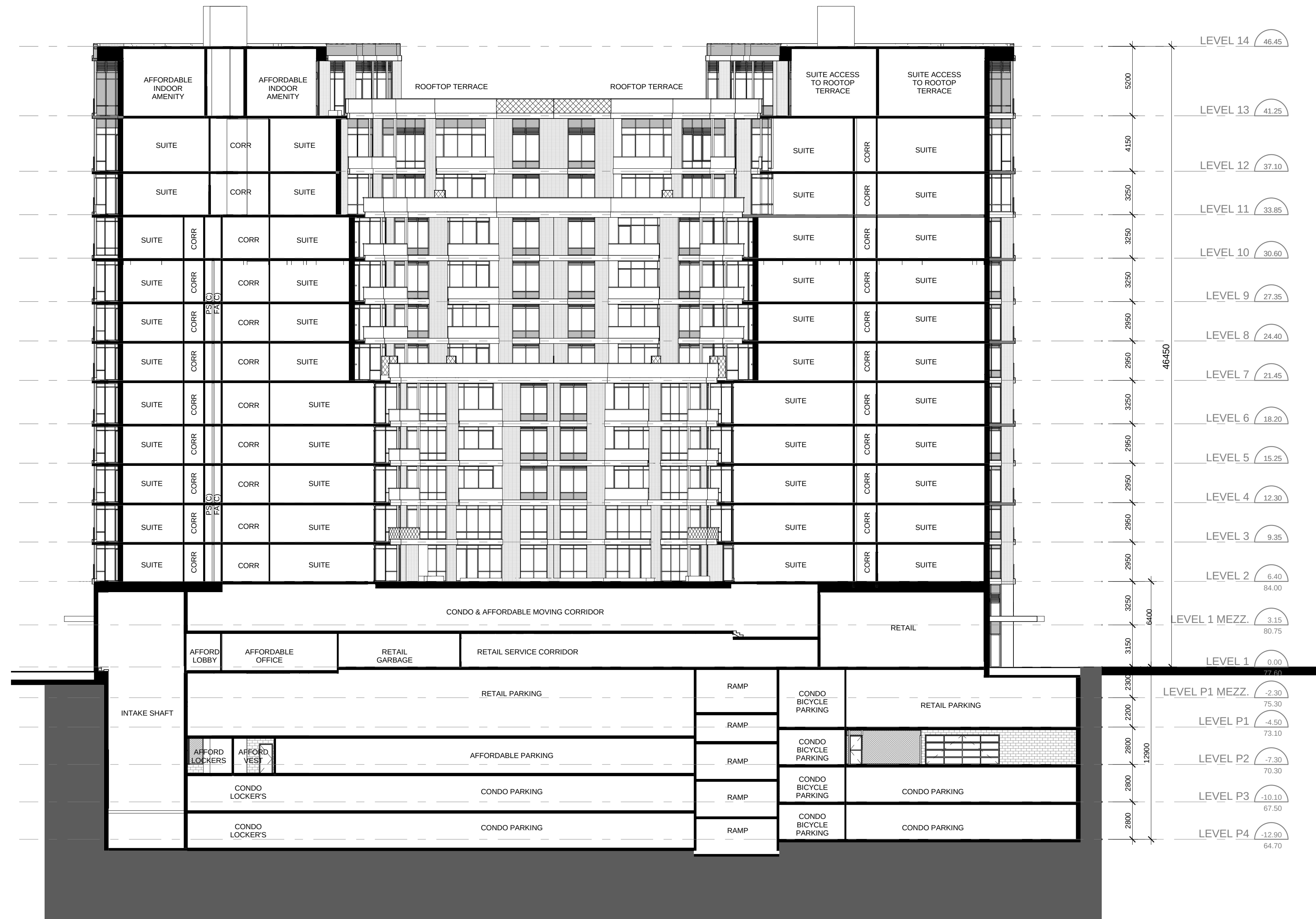
Drawing No.

A5.2



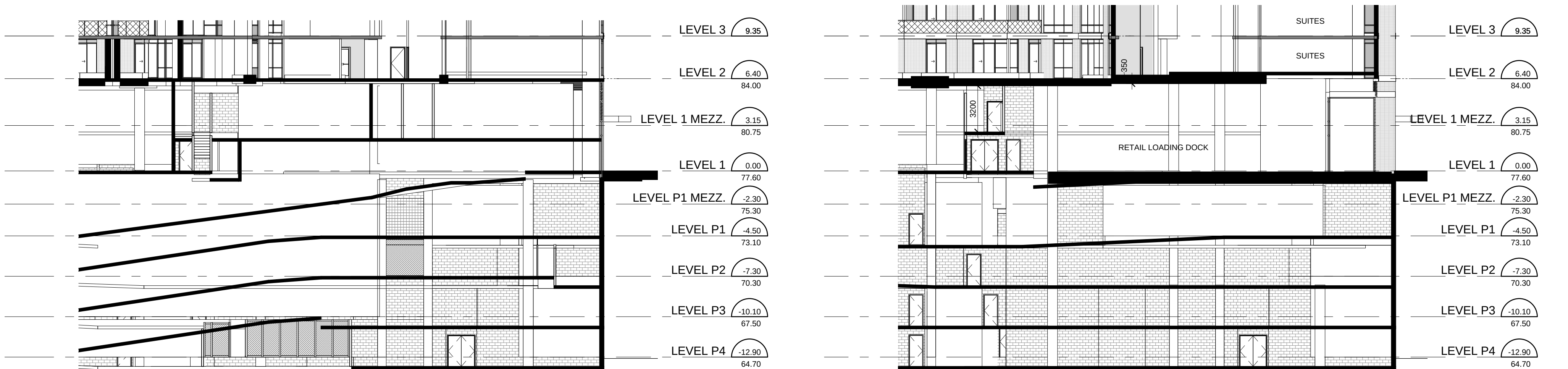
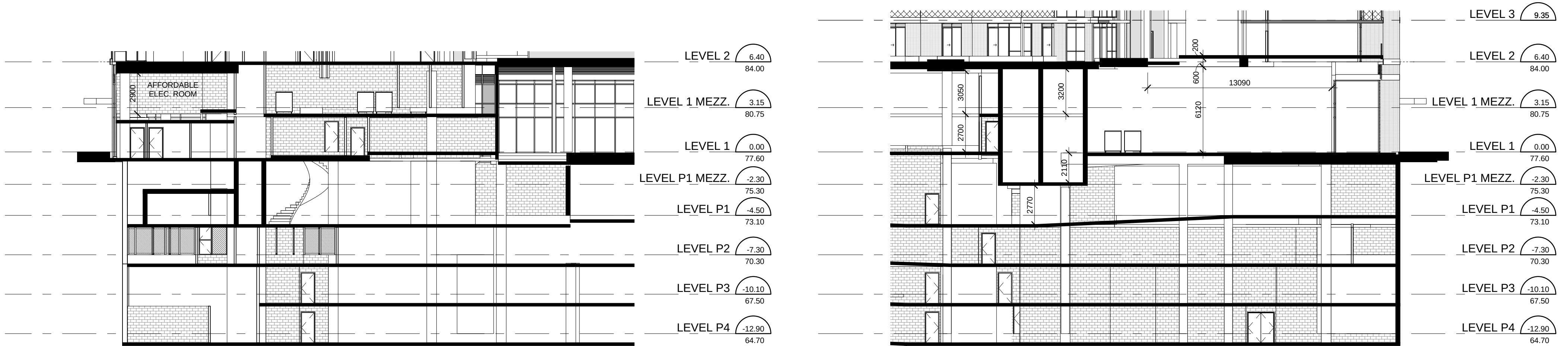
EASTWEST SECTION THROUGH STORMWATER TANK

Scale: 1 : 200



BUILDING SECTION - EAST-WEST

Scale: 1 : 200



Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed ByThe Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.: Revision Date

No Issued For Date

Drawing Title
SECTIONS

Project

AQUAVISTA

BAYSIDE, TORONTO

Scale
1 : 200

Drawn by

Author

Checked by

Checker

Project No.

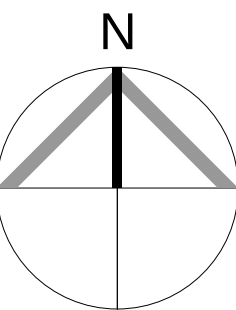
13148

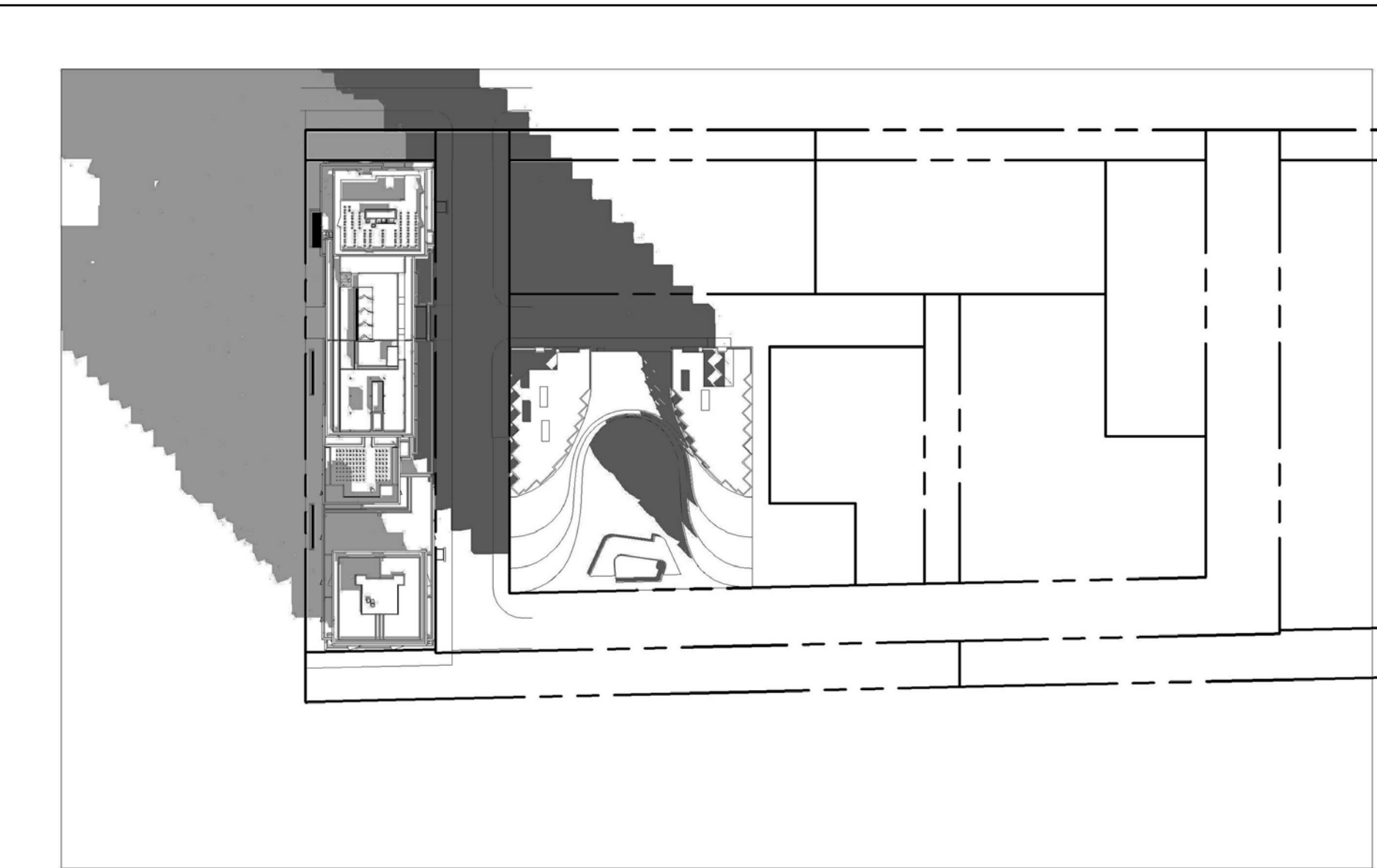
Date

12/19/14

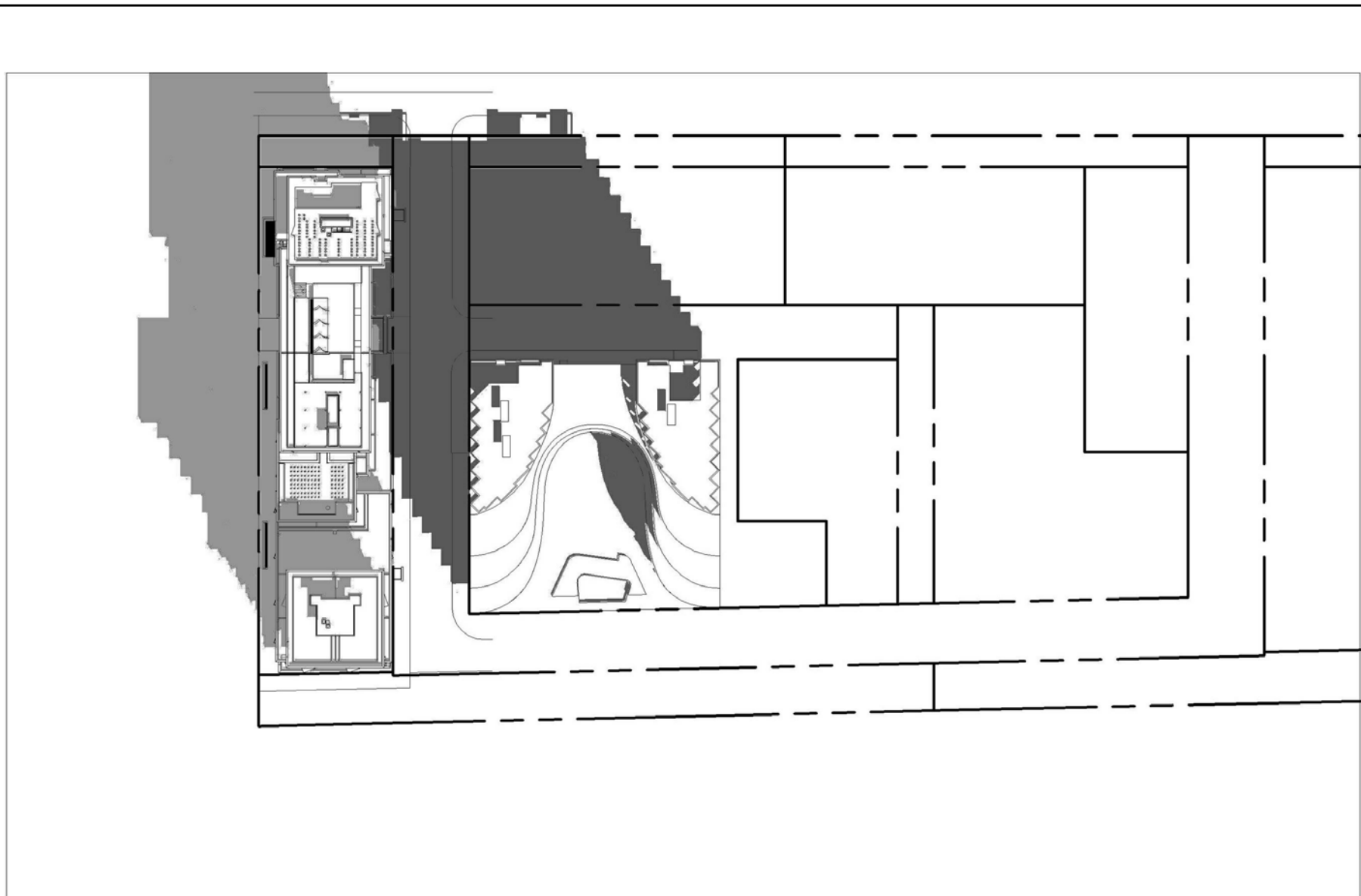
Drawing No.

A5.3

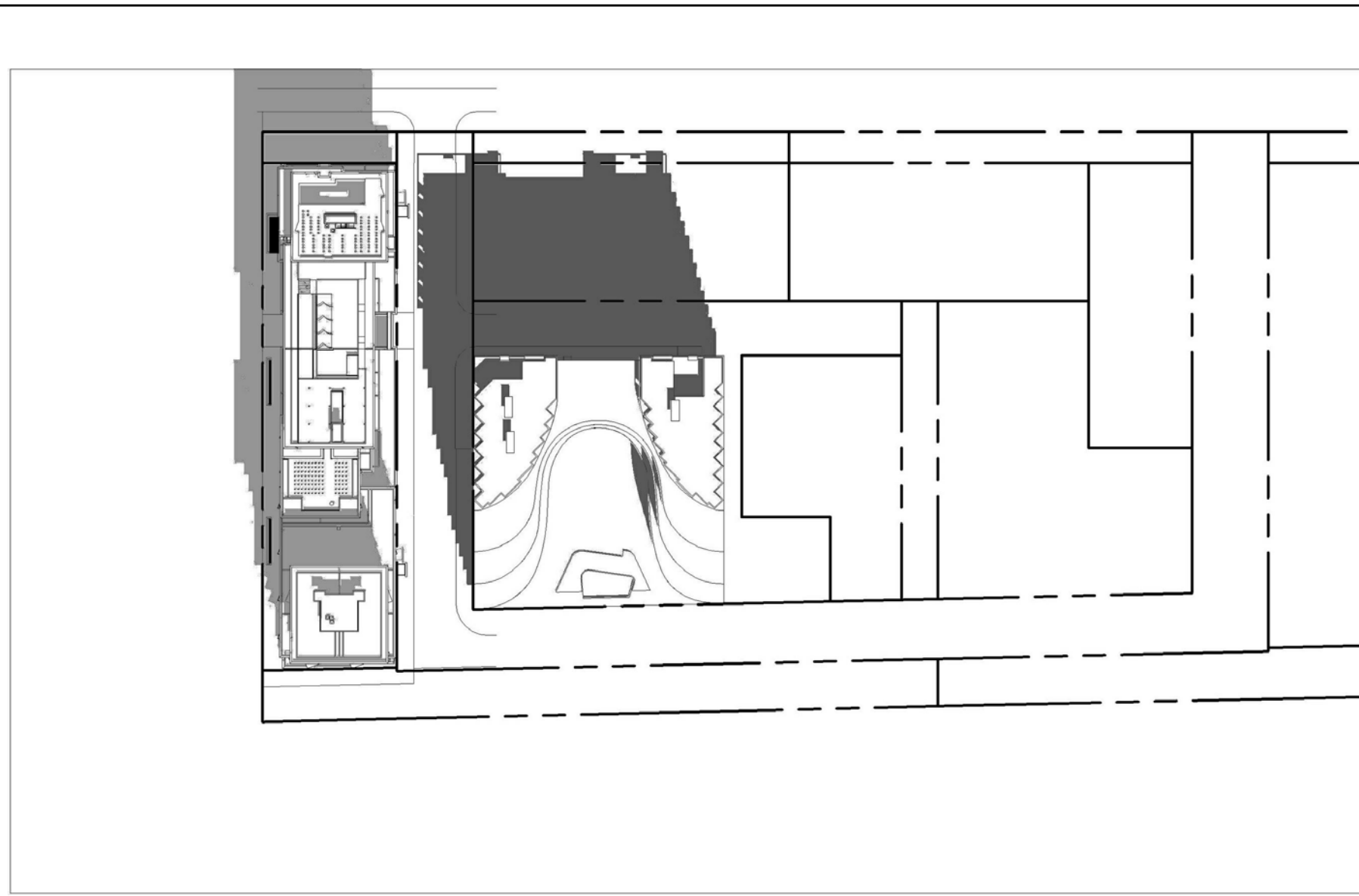




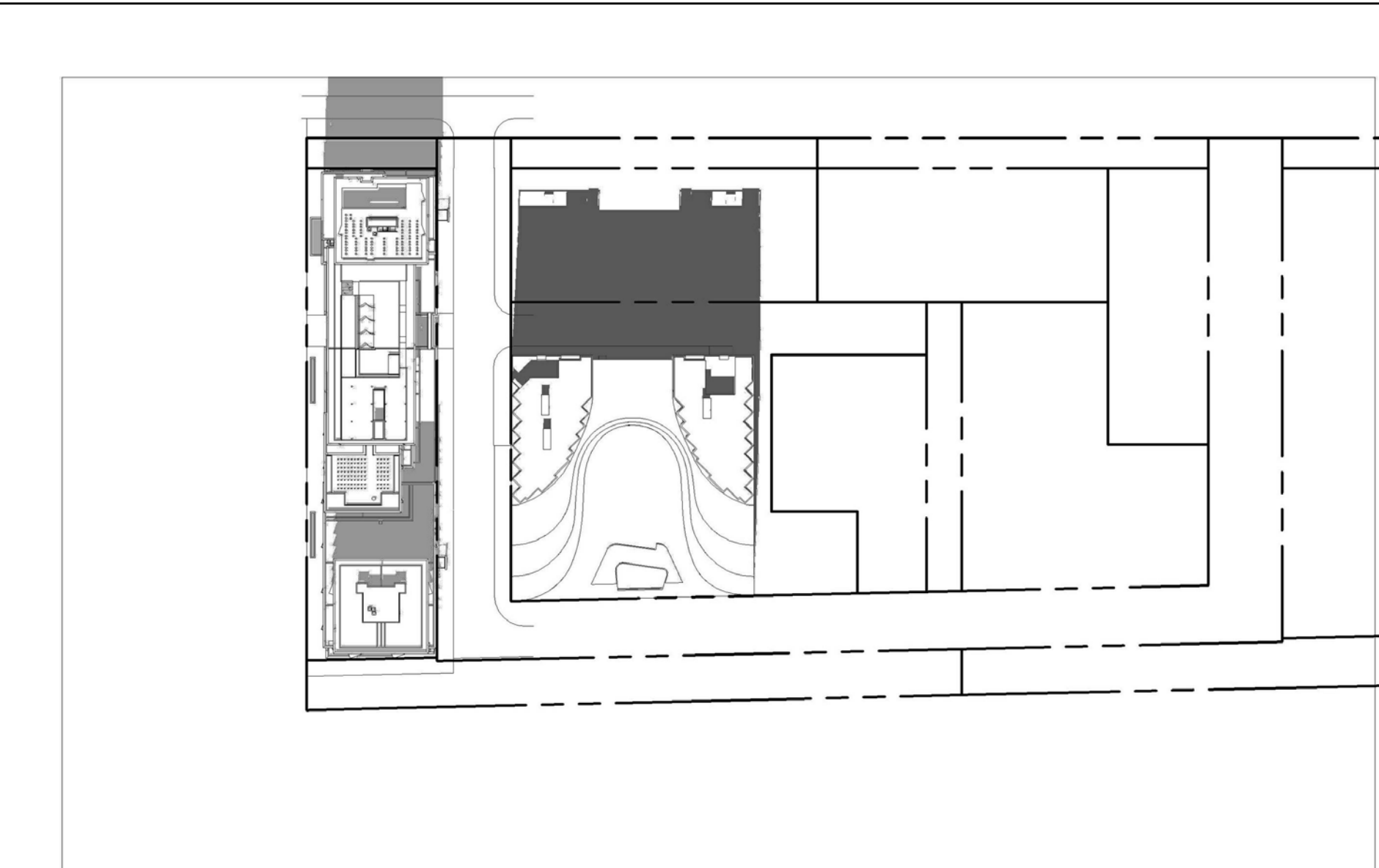
March 21 / September 21 - 9:18 AM
NTS 1 A8.1



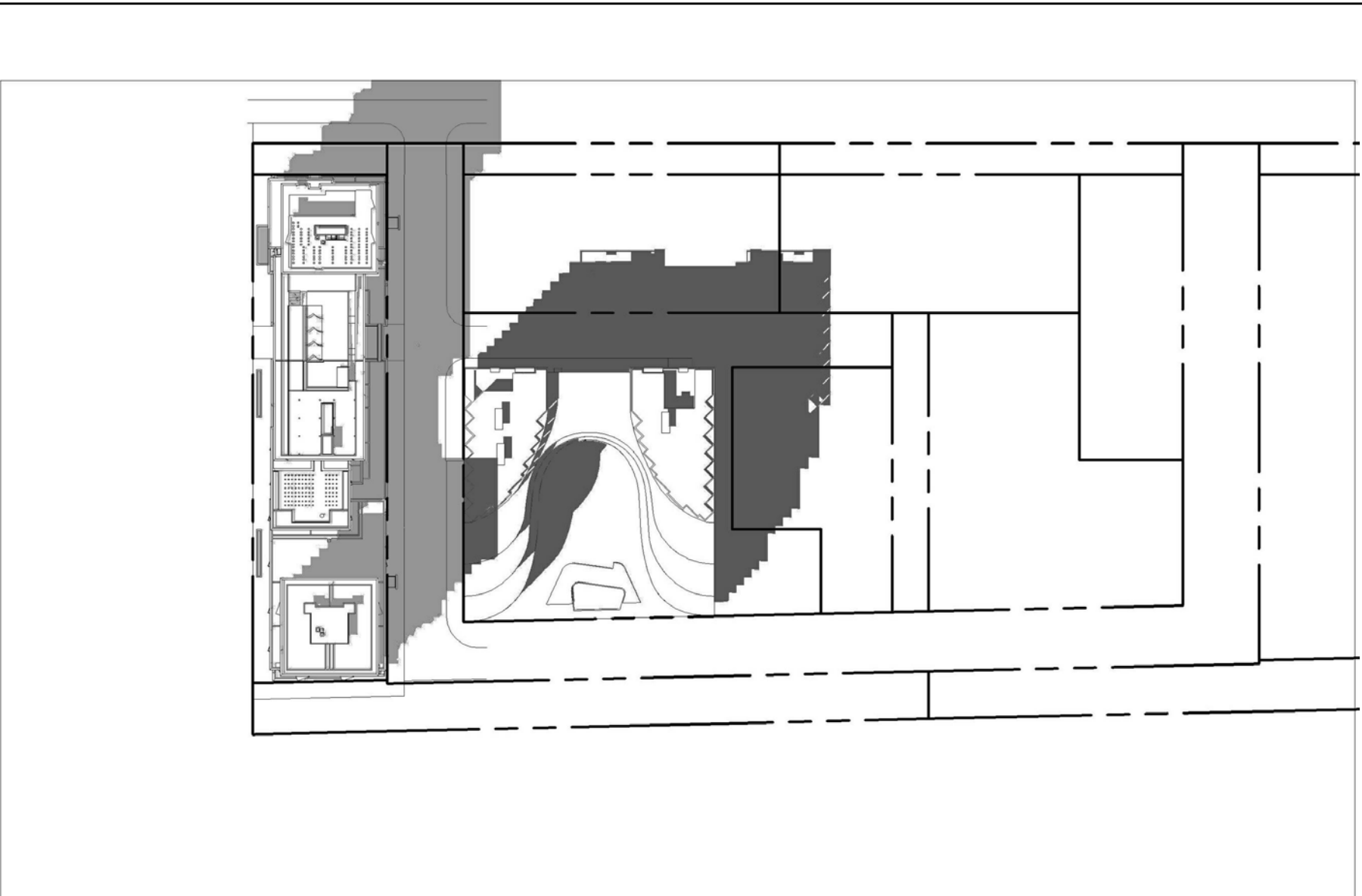
March 21 / September 21 - 10:18 AM
NTS 2 A8.1



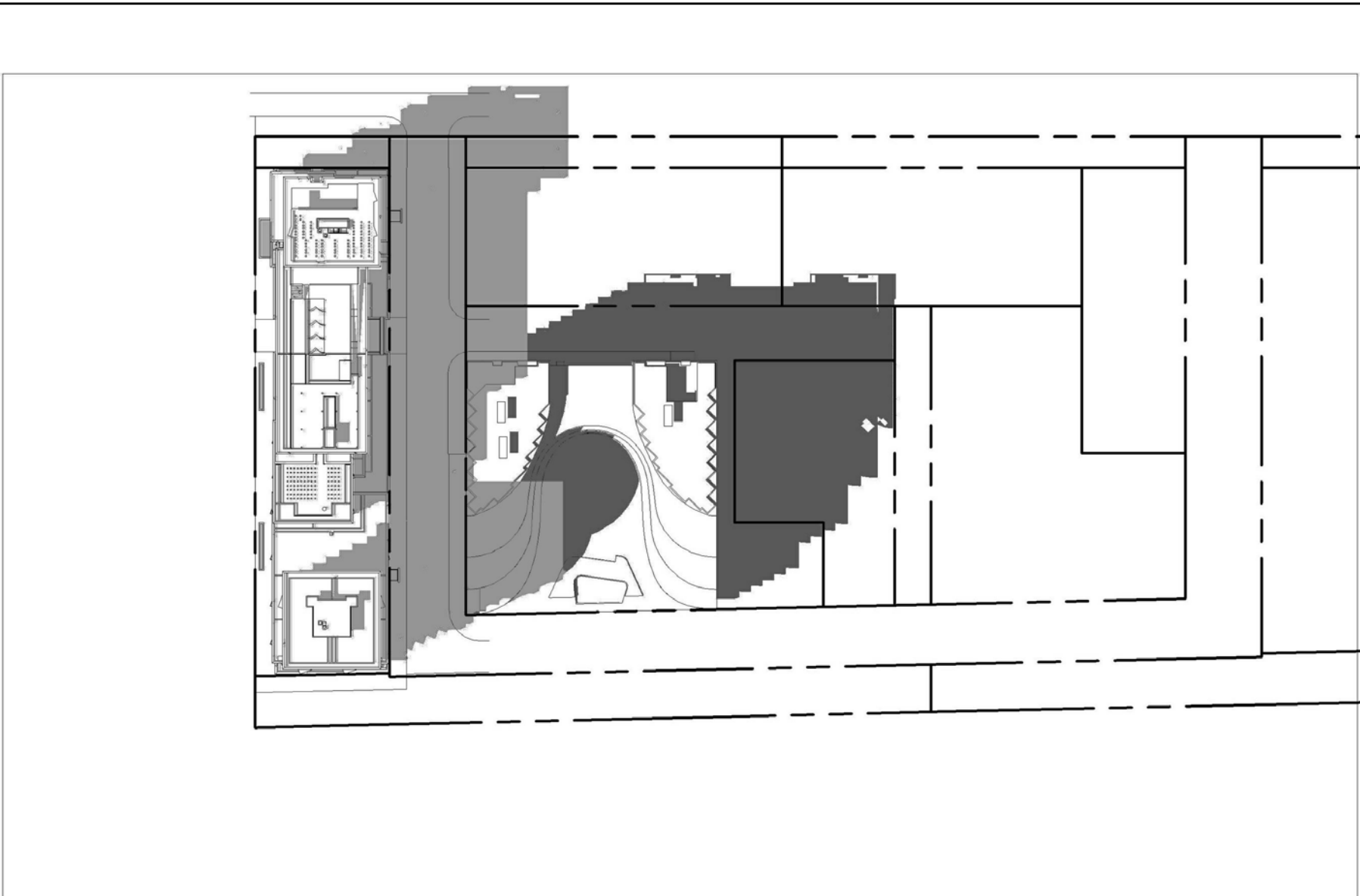
March 21 / September 21 - 11:18 AM
NTS 3 A8.1



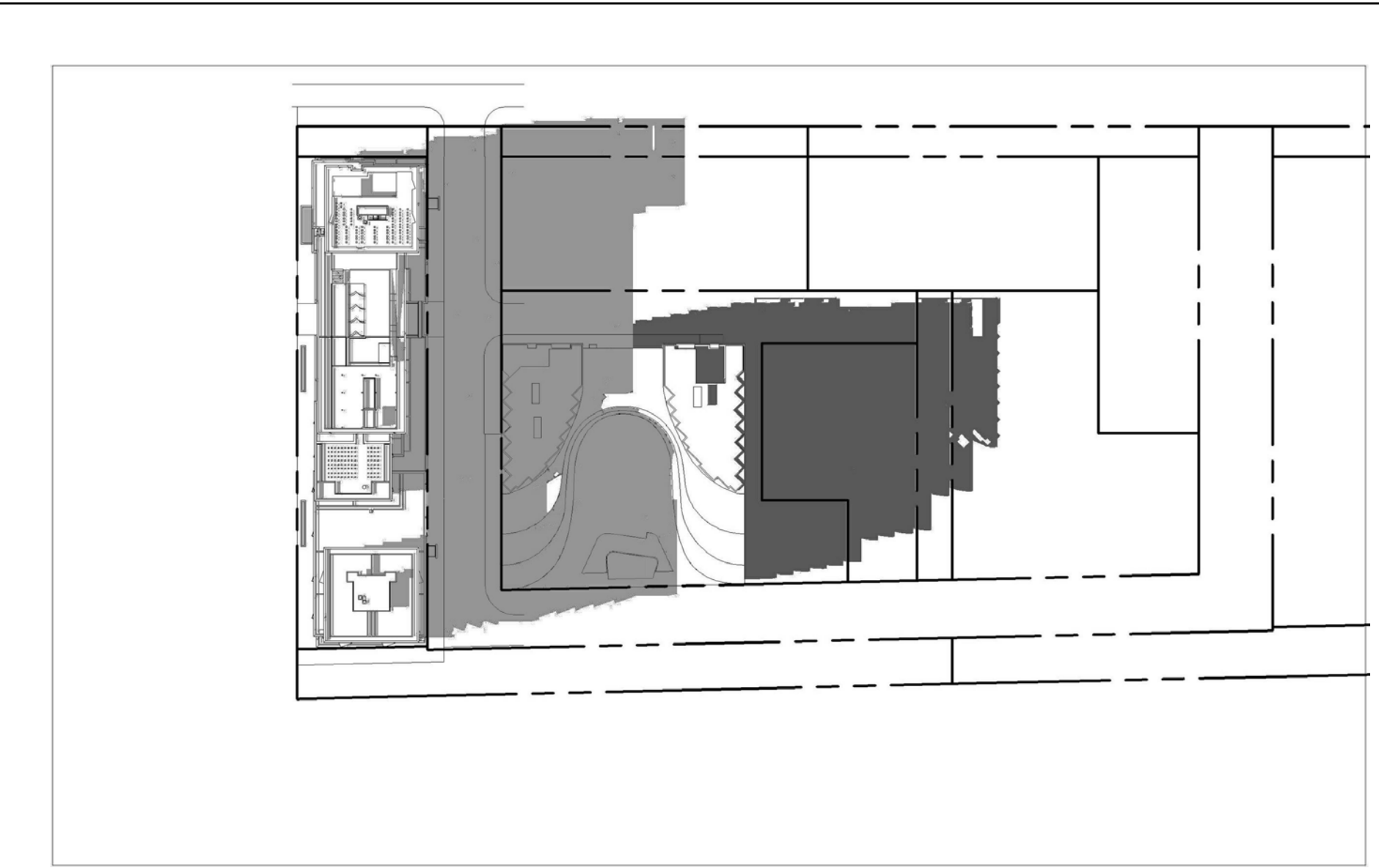
March 21 / September 21 - 12:18 PM
NTS 4 A8.1



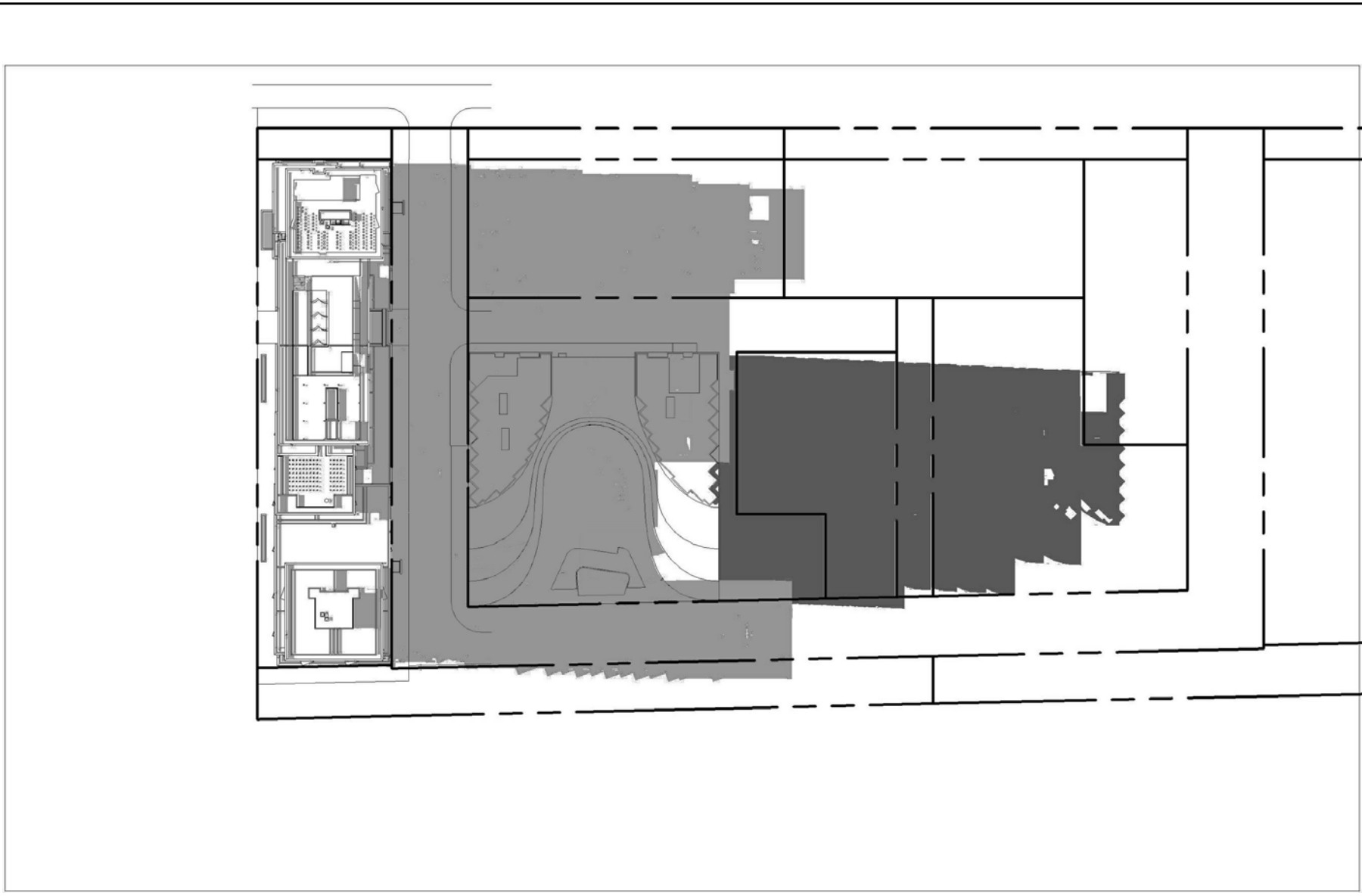
March 21 / September 21 - 2:18 PM
NTS 5 A8.1



March 21 / September 21 - 3:18 PM
NTS 6 A8.1



March 21 / September 21 - 4:18 PM
NTS 7 A8.1



March 21 / September 21 - 5:18 PM
NTS 8 A8.1



March 21 / September 21 - 6:18 PM
NTS 9 A8.1

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed ByThe Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
------	----------	------

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

Sun Shadow Study - March & September

Project

AQUAVISTA

BAYSIDE, TORONTO

1 : 200

Author

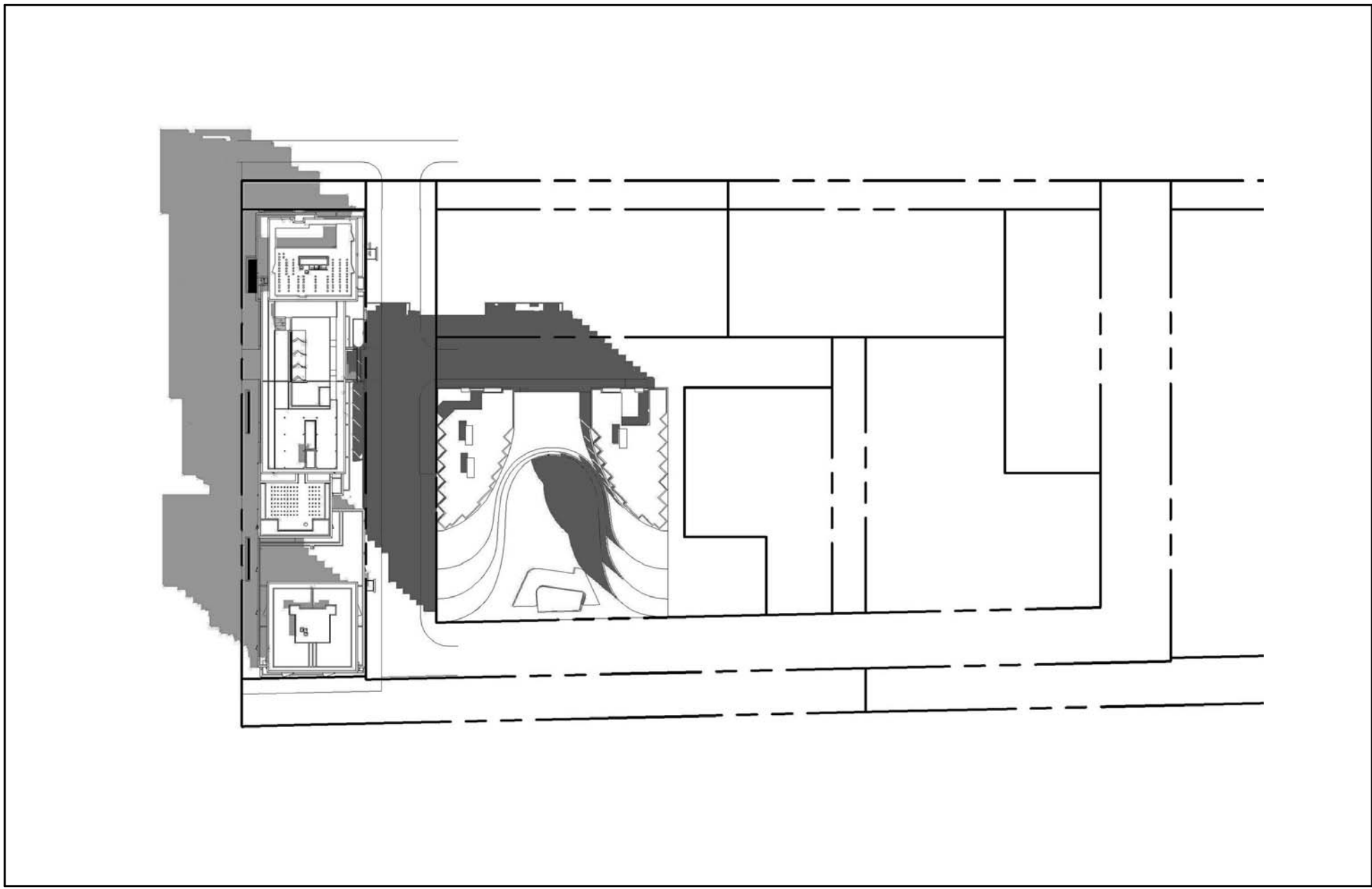
Checker

13148

DEC 22 2014

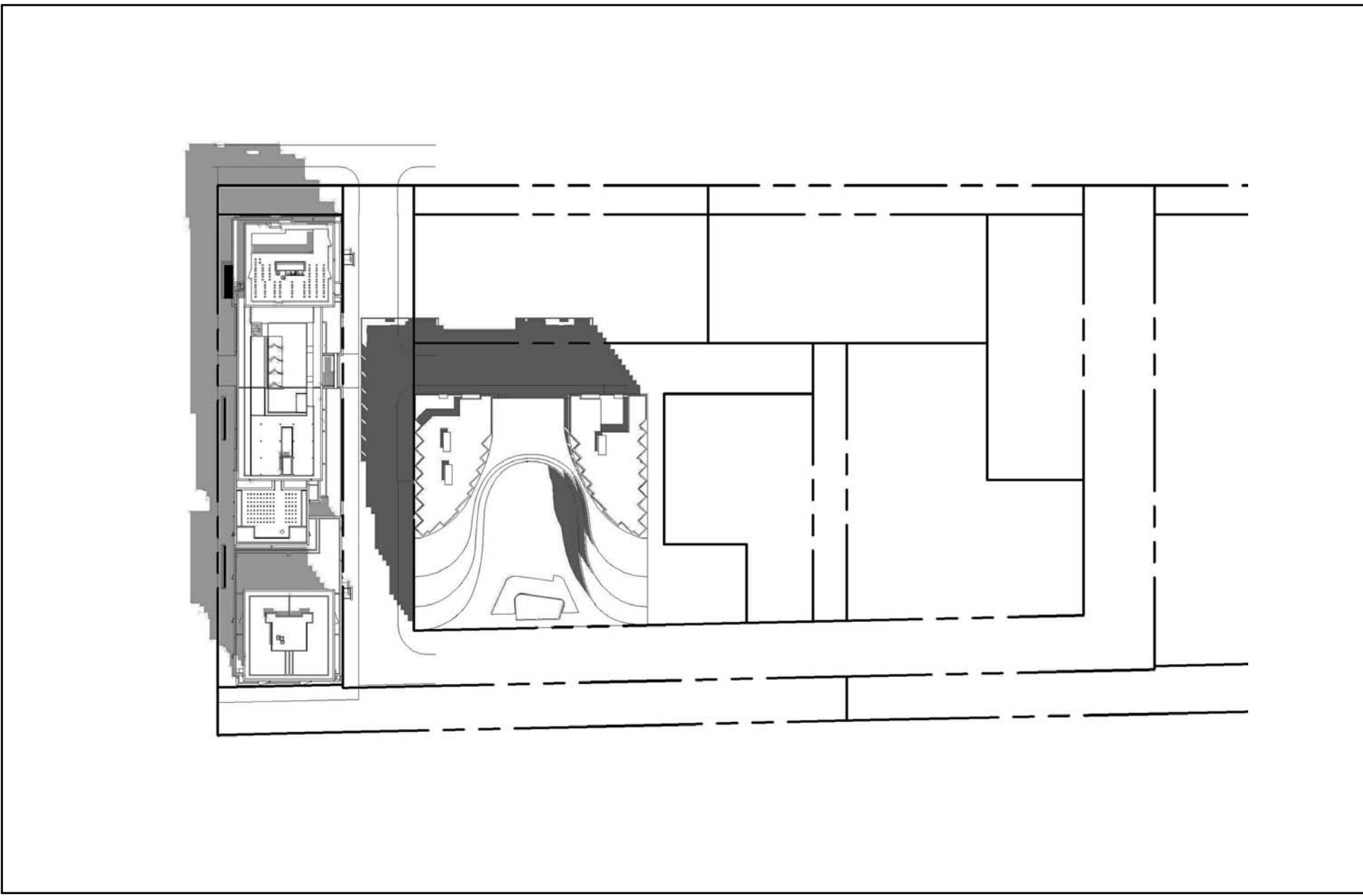
Drawing No.

A8.1



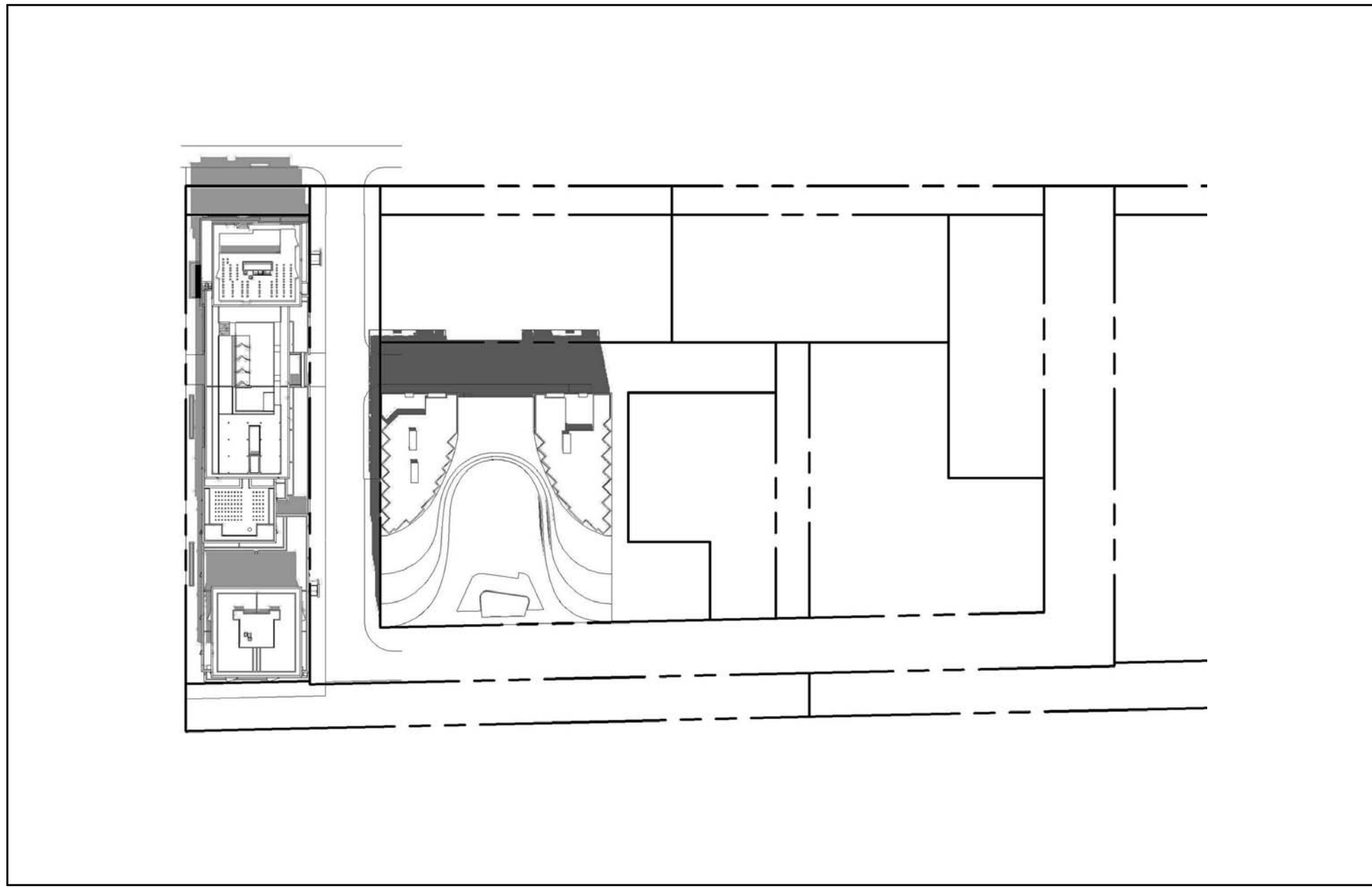
June 21 - 9:18 AM
NTS

1
A8.2



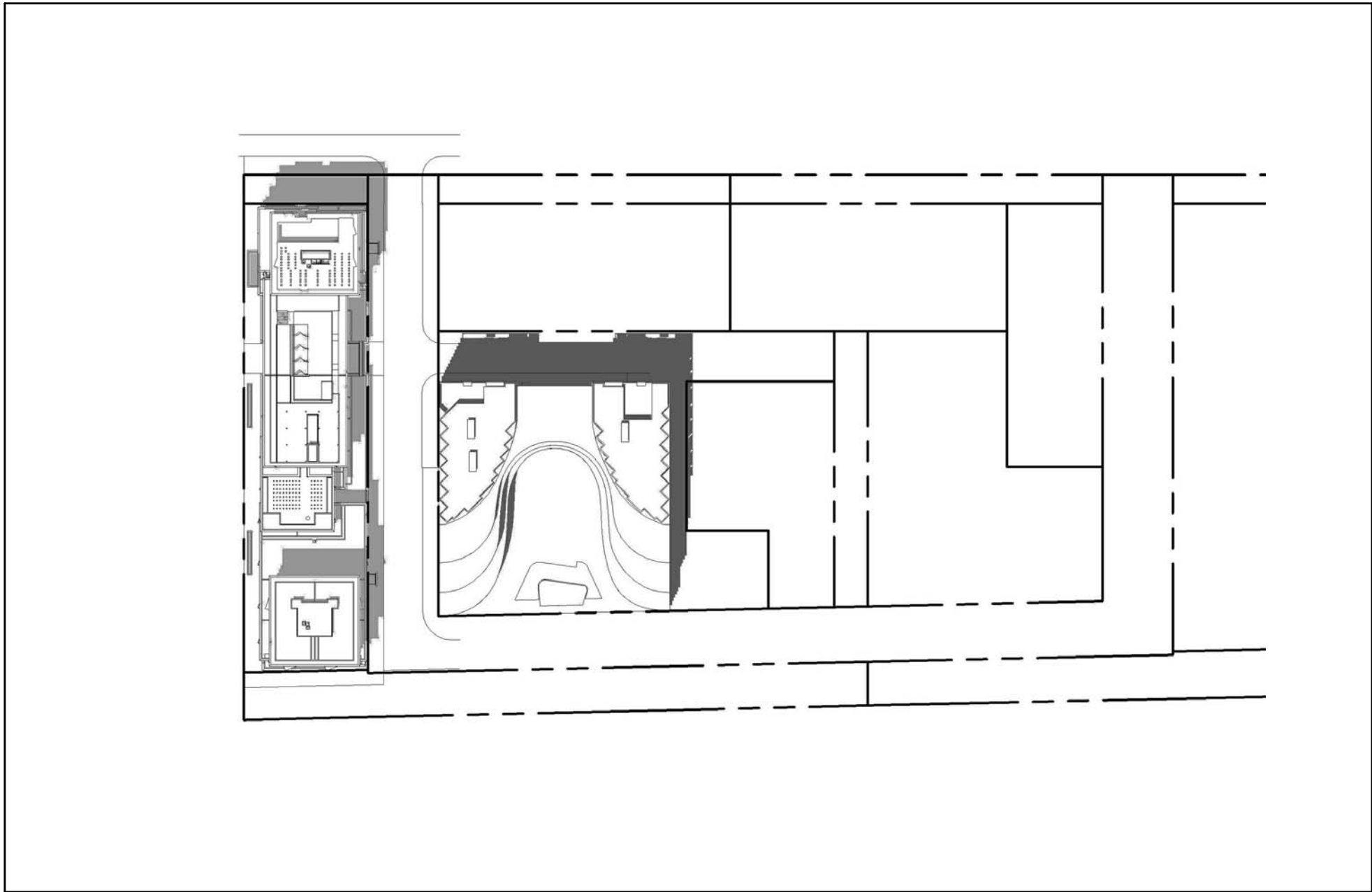
June 21 - 10:18 AM
NTS

2
A8.2



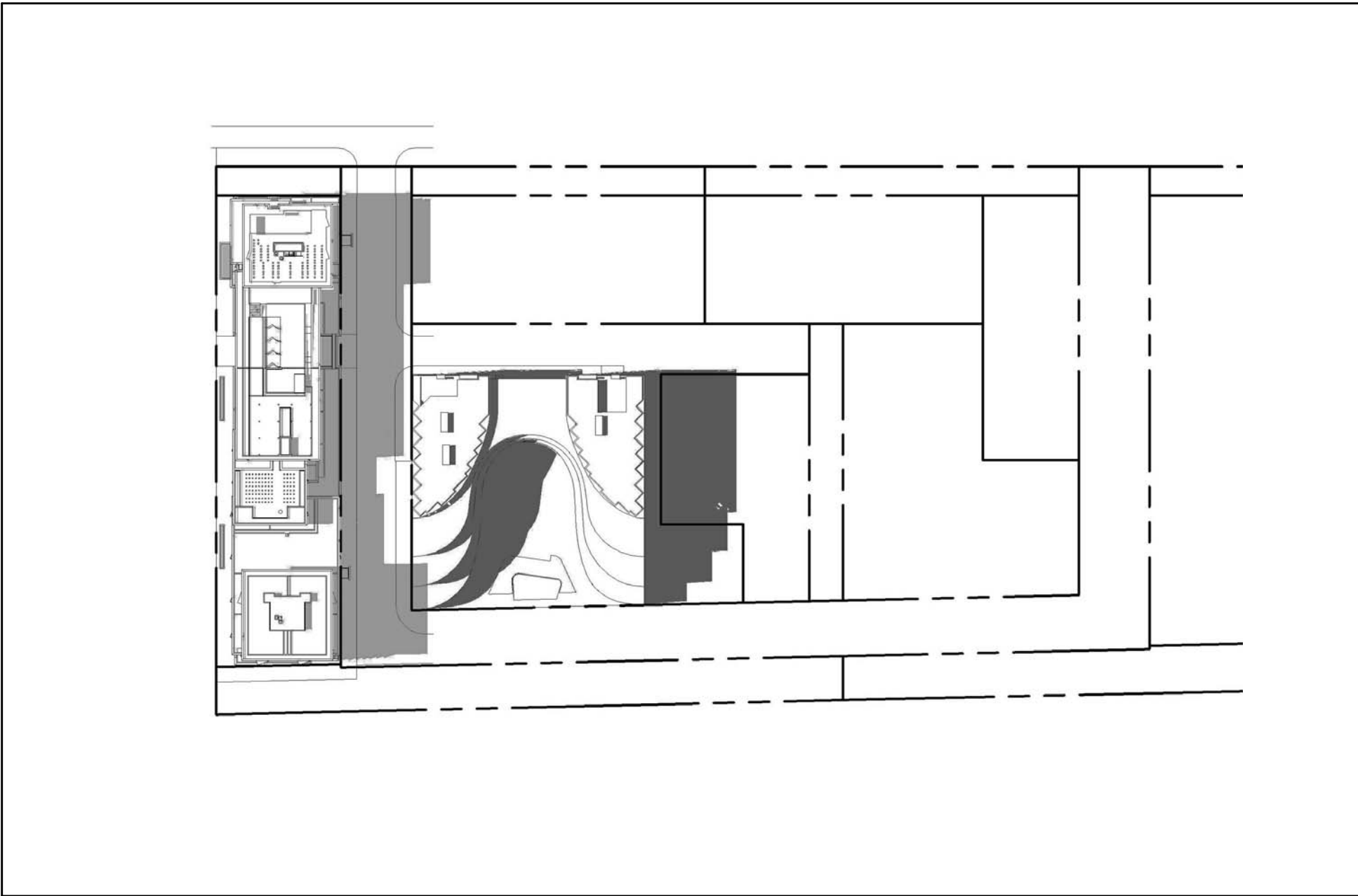
June 21 - 11:18 AM
NTS

3
A8.2



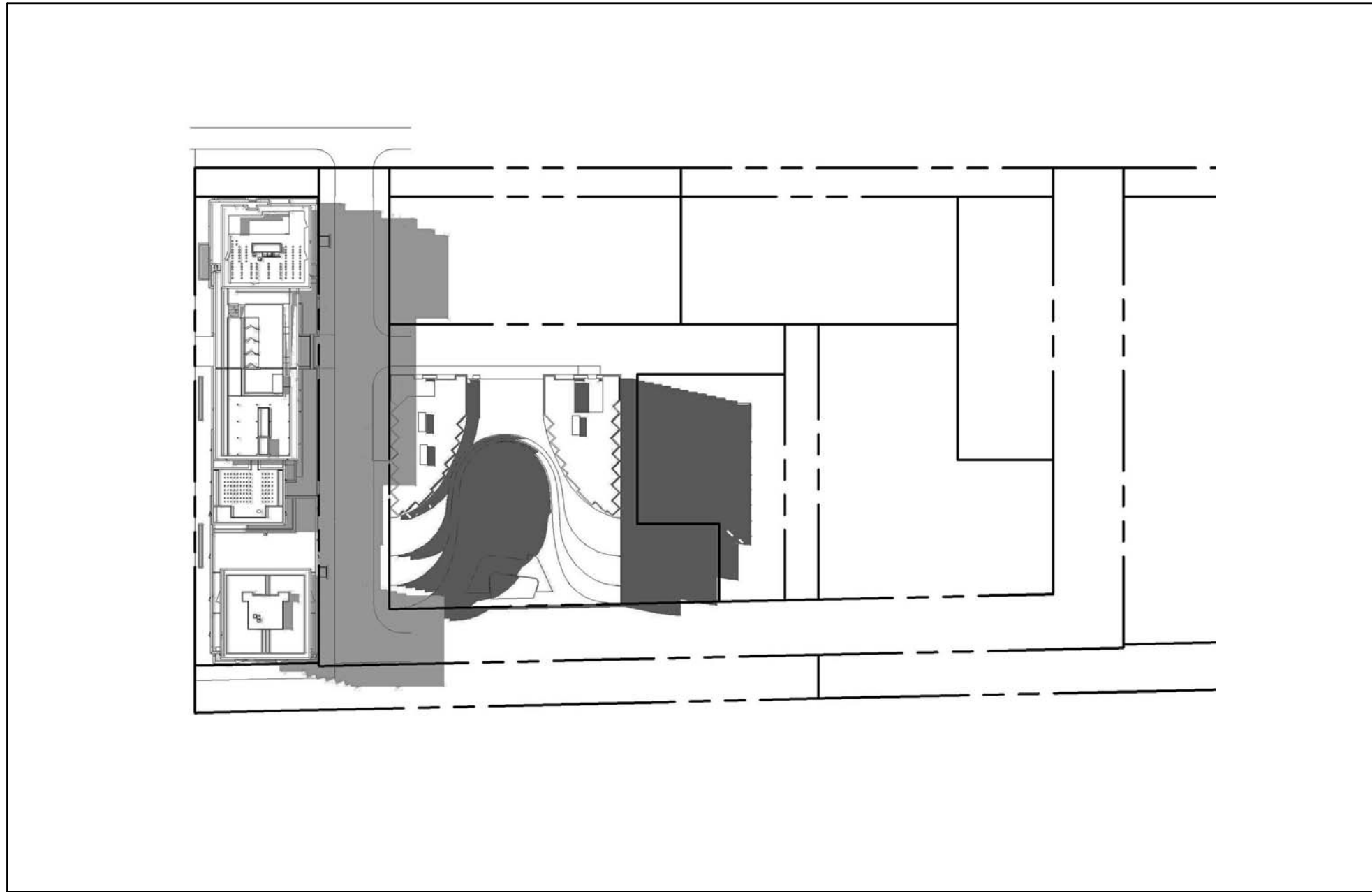
June 21 - 12:18 PM
NTS

4
A8.2



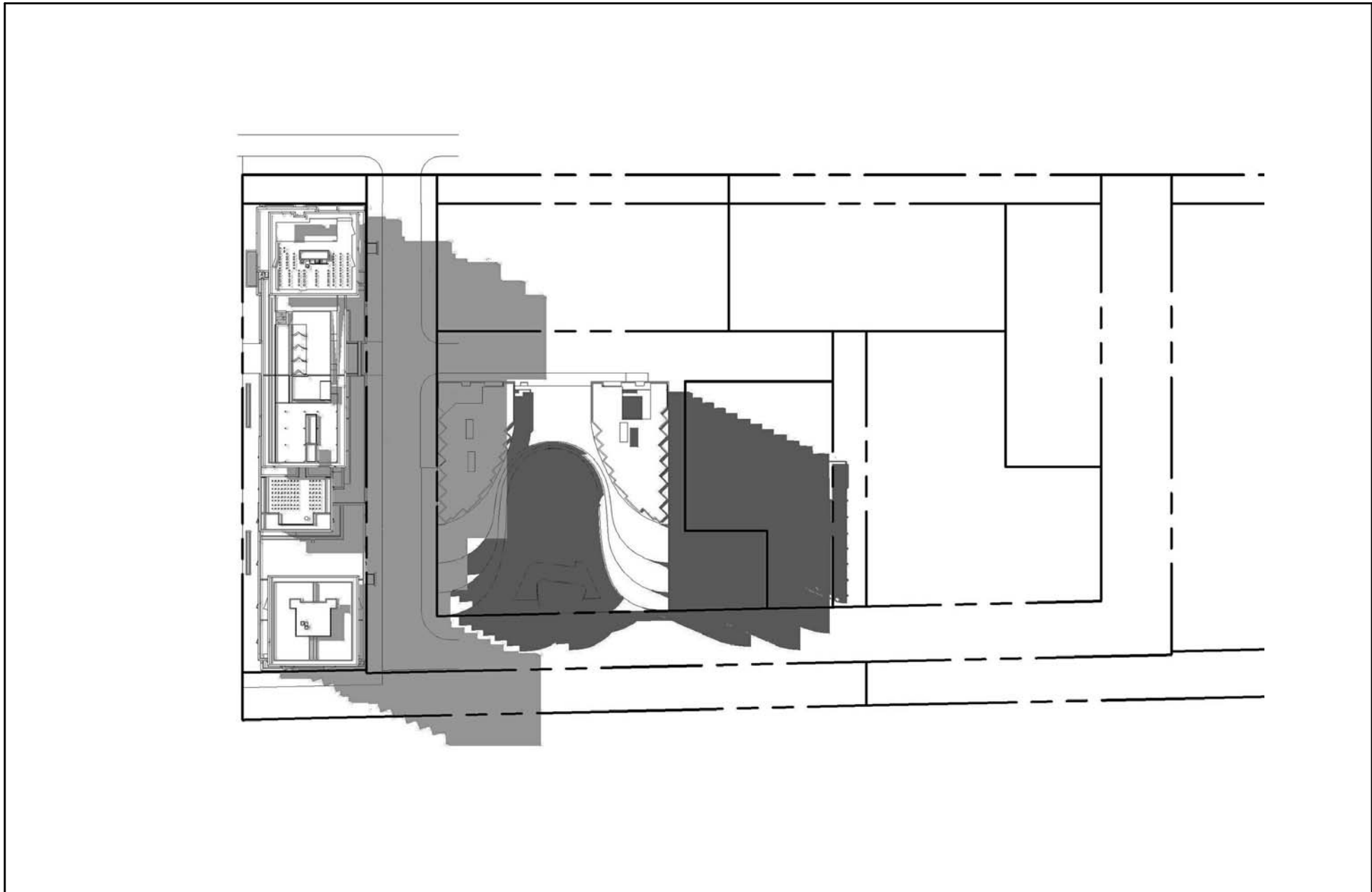
June 21 - 2:18 PM
NTS

5
A8.2



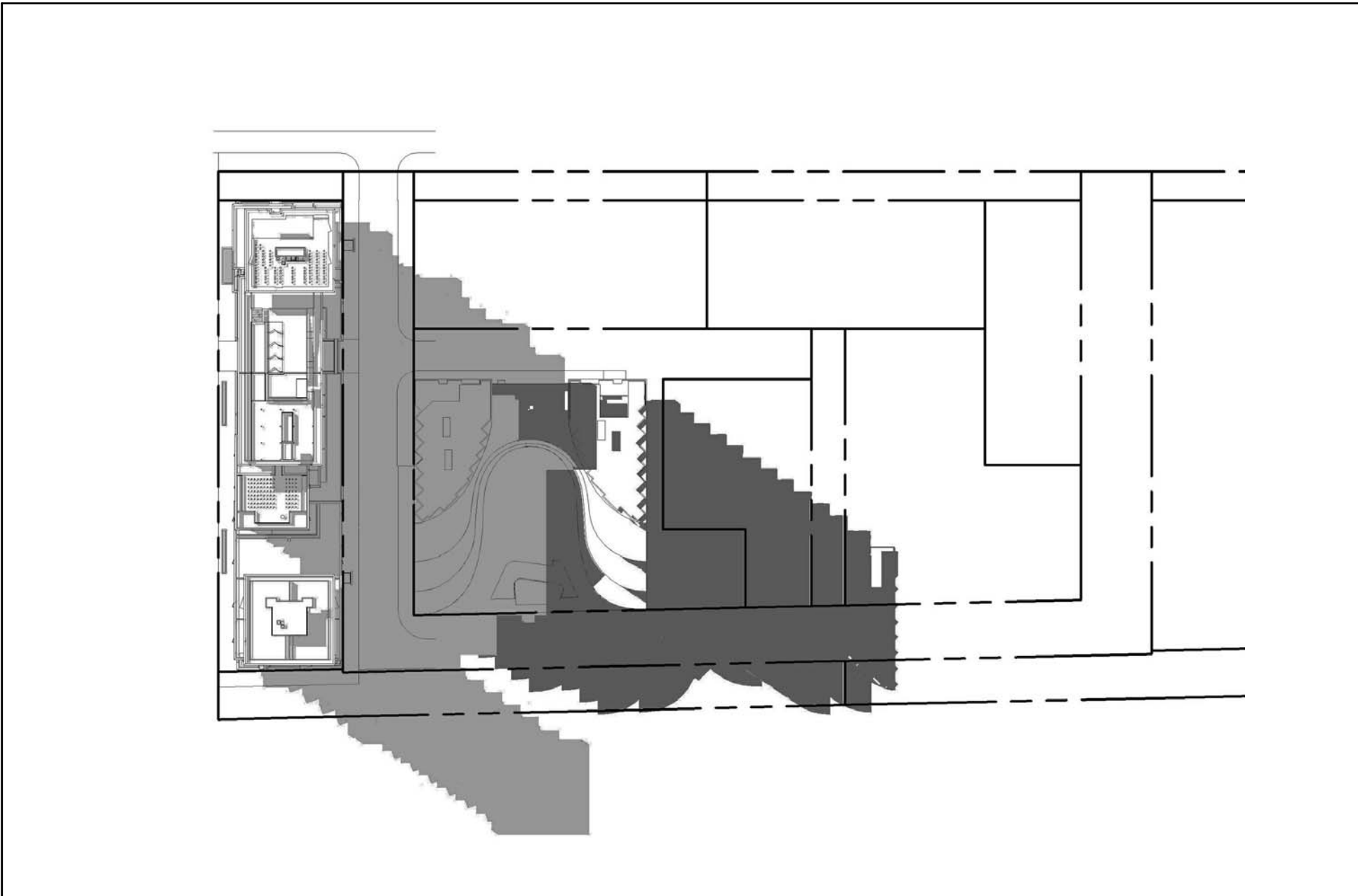
June 21 - 3:18 PM
NTS

6
A8.2



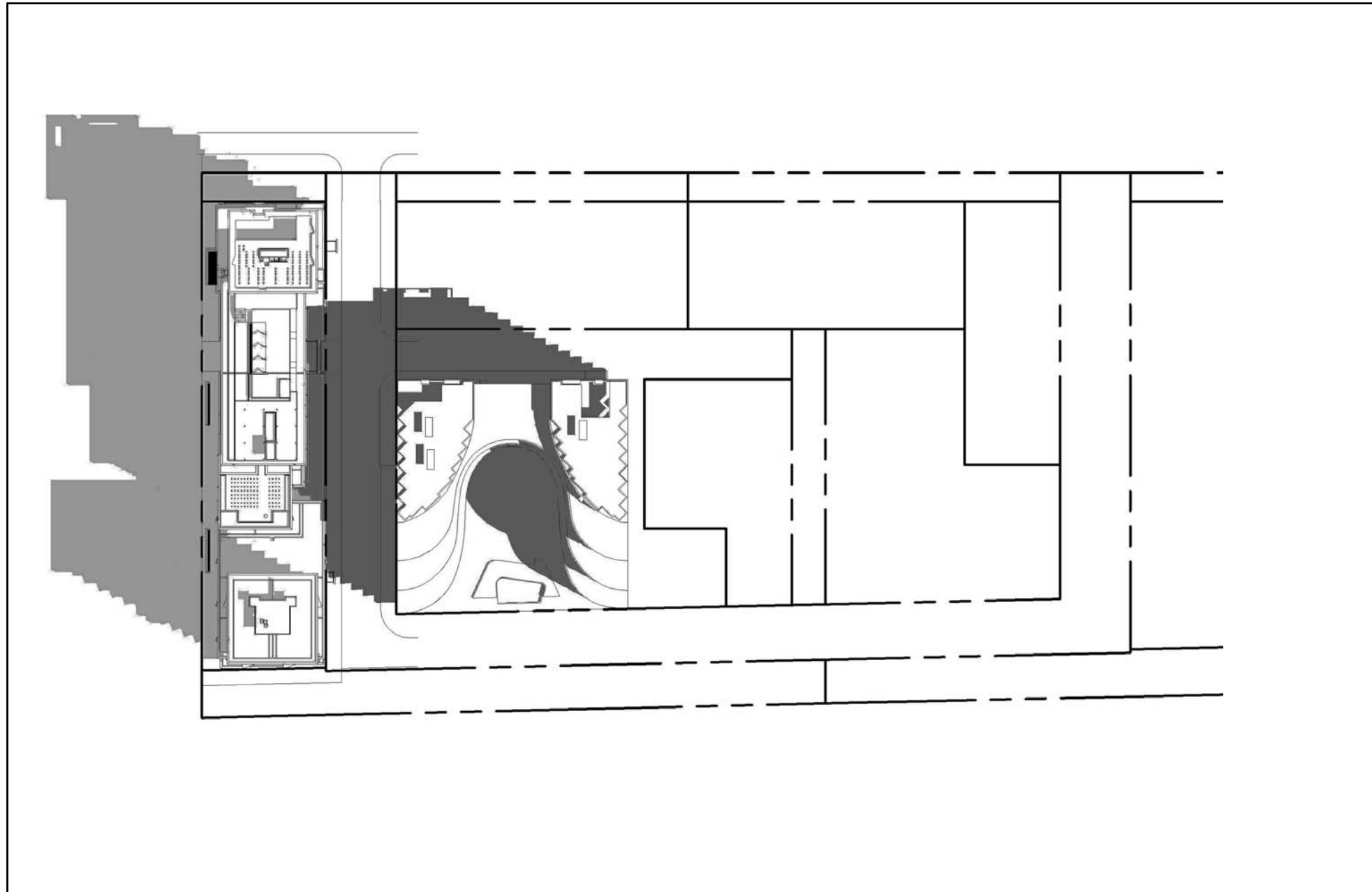
June 21 - 4:18 PM
NTS

7
A8.2



June 21 - 5:18 PM
NTS

8
A8.2



June 21 - 6:18 PM
NTS

9
A8.2

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
All Drawings, Specifications And Related Documents Are The Copyright Of The Architect And Must Be Returned Upon Request.
Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission.
This Drawing Is Not To Be Used For Construction Until Signed ByThe Architect.
Date:

KIRKOR | architects & planners
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K8
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No.:	Revision	Date
------	----------	------

01	SPA SUBMISSION	DEC.12, 2014
No	Issued For	Date

Drawing Title

Sun Shadow Study - June

Project

AQUAVISTA
BAYSIDE, TORONTO
Scale
1 : 200
Drawn by
Author
Checked by
Checker
Project No.
13148
Date
DEC 22 2014
Drawing No.

A8.2