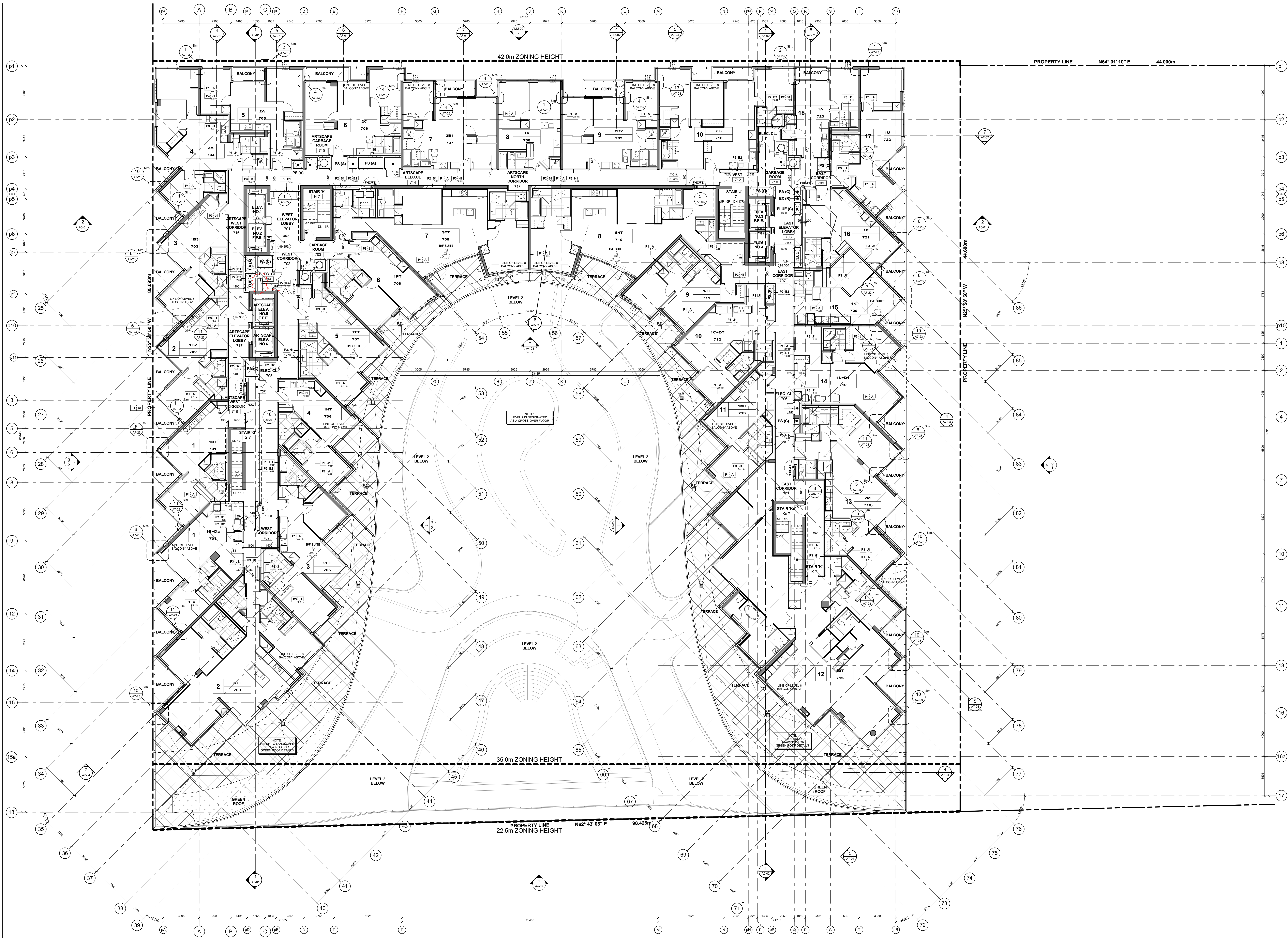




GENERAL NOTES LEGEND

1. CATCH BASIN
2. AREA DRAIN
3. FLOOR DRAIN
4. ROOF DRAIN
5. SCUPPER DRAIN
6. TRENCH DRAIN
7. LANDSCAPE DRAIN
8. MEDICINE CABINET
9. TOP OF CONCRETE SLAB - LOW POINT
10. TOP OF CONCRETE SLAB - HIGH POINT
11. TOP OF CONCRETE WALL
12. TOP OF CONCRETE CURB
13. TOP OF CONCRETE SLAB
14. SPRINKLER WINDOW ASSEMBLY
15. DENOTES CHAIN LINK FENCE
16. EXISTING SPOT ELEVATION
17. PROPOSED FINISHED SPOT ELEVATION
18. PROPOSED FINISHED SPOT ELEVATION RELATIVE TO GROUND FLOOR ELEVATION
19. PROPOSED LANDSCAPE ELEVATION
20. ROOM NUMBER
21. FLOOR/CILING ASSEMBLY TYPE
22. DOOR NUMBER
23. RAILING TYPE
24. HATCH DENOTES THERMAL INSULATION AND HEATED PLENUM TO US OF SLAB
25. HATCH DENOTES THERMAL INSULATION TO US OF SLAB
26. HATCH DENOTES SUSPENDED ACOUSTIC CEILING
27. HATCH DENOTES ACOUSTIC CEILING TO US OF SLAB
28. HATCH DENOTES HORIZONTAL FIRE RATED ENCLOSURE
29. HATCH DENOTES SLOTTED CEILING
30. HATCH DENOTES SUSPENDED GYPSONUM OR T-BAR CEILING
31. HATCH DENOTES FLOOR PAINTED MAINTENANCE LINES
32. UNIT TYPE
33. UNIT NUMBER
34. BARrier FREE SUITE

General Notes Legend 2

GENERAL TYPICAL FLOOR NOTES

1. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS
2. BALCONY SLAB AND CONCRETE BELL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPER DRAIN OR AREA DRAIN. SEE PLANS FOR LOCATION.
3. PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALLS AND FLOORS. PROVIDE SOUND REPORT.
4. REFER TO WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND RESIST RATING.
5. PROVIDE ALL FIRE RATED SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
6. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPE AND DUCT ELEVATION REQUIREMENTS.
7. ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL. PROVIDE ACOUSTICAL SAT IN ALL BATHROOM PIPE SPACES.
8. AT ALL STAIR PRESSURIZATION SHARP ENCLOSURES, NO SERVICES SHALL BE ALLOWED TO PENETRATE, OR PASS THRU THIS ENCLOSURE.
9. ELEVATOR:
A. ELEVATOR SHUTT DIMENSIONS PROVIDED BY THE ELEVATOR COMPANY. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE COMPANY. COORDINATE SHUTT SIZE AND REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
B. ELEVATOR SHUT SHALL BE COORDINATED WITH ELEVATOR SUPPLIER.
C. ELEVATOR SHUTT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 2 HRS.
D. AN APPROVED FIRE STOP MATERIAL, IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLAB.
E. ELEVATOR SHUTT LADDERS TO BE GALVANIZED STEEL, AND EXTENDING DOWNWARD SHALL BE SUPPLIED & INSTALLED BY ELEVATOR CONTRACTOR.
10. LOCKER ROOM NOTES:
A. ALL LOCKER ROOMS DEPTH TO BE 1100MM (43 3/8"). LOCKERS TO BE CONSTRUCTED WITH 12MM FIBRE REINFORCED PLASTER & 20MM HIGH POLYESTER FIBRE MESH COAT AND COATING. ALL VESTER MESHES TO BE 40MM BELOW SPRINKLER DEFLECTOR THROUGHOUT.
B. REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE METALLON SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
11. BICYCLE SPACE NOTES:
A. ALL BICYCLE SPACES TO COMPLY WITH TORONTO BICYCLE BY-LAW STANDARDS. HORIZONTAL BACKING ROW X 800MM X 1800MM.
B. VERTICAL BACKING ROW X 1000MM X 1800MM.
12. ABOVE RESISTANT DETAIL TO BE USED ON ALL ARTSCAPE / AFFORDABLE LOBBY AND CORRIDOR WALLS.
13. SUITE TO SUITE BLOCK WALL TO BE NORMAL WEIGHT FOR ACOUSTICS. REFER TO ACOUSTICAL REPORT.

General Typical Floor Notes 1

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Correction: Must Check And Verify All Dimensions On The Job.
On The Scale The Drawing.
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The Drawing Is Not To Be Used For Construction Until Signed By The Architect.
Date: November 4th, 2016

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No.: Revision Date
1. Artscapes Change Notice Aug. 25, 2015
2. Site Instruction #1 Jan. 18, 2017
3. Site Instruction #2 Mar. 20, 2017
4. Site Instruction #3 April 20, 2017
5. Site Instruction #4 July 27, 2017
6. Site Instruction #5 Aug. 25, 2017
7. Site Instruction #6 Sept. 17, 2017
8. Site Instruction #7 Nov. 01, 2017
9. Site Instruction #8 Dec. 15, 2017

AQUAVISTA
AT BAYSIDE TORONTO

Drawing Title: Floor Plans
Level 7 - Seventh Floor Plan

Project:
Hines TRIDEL
AQUAVISTA
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

Scale:
1 : 100
Drawn by: E.V. / M.R.
Checked by: C.A.
Project No.: 13148
Date: November 4th, 2016
Drawing No.: A2-13