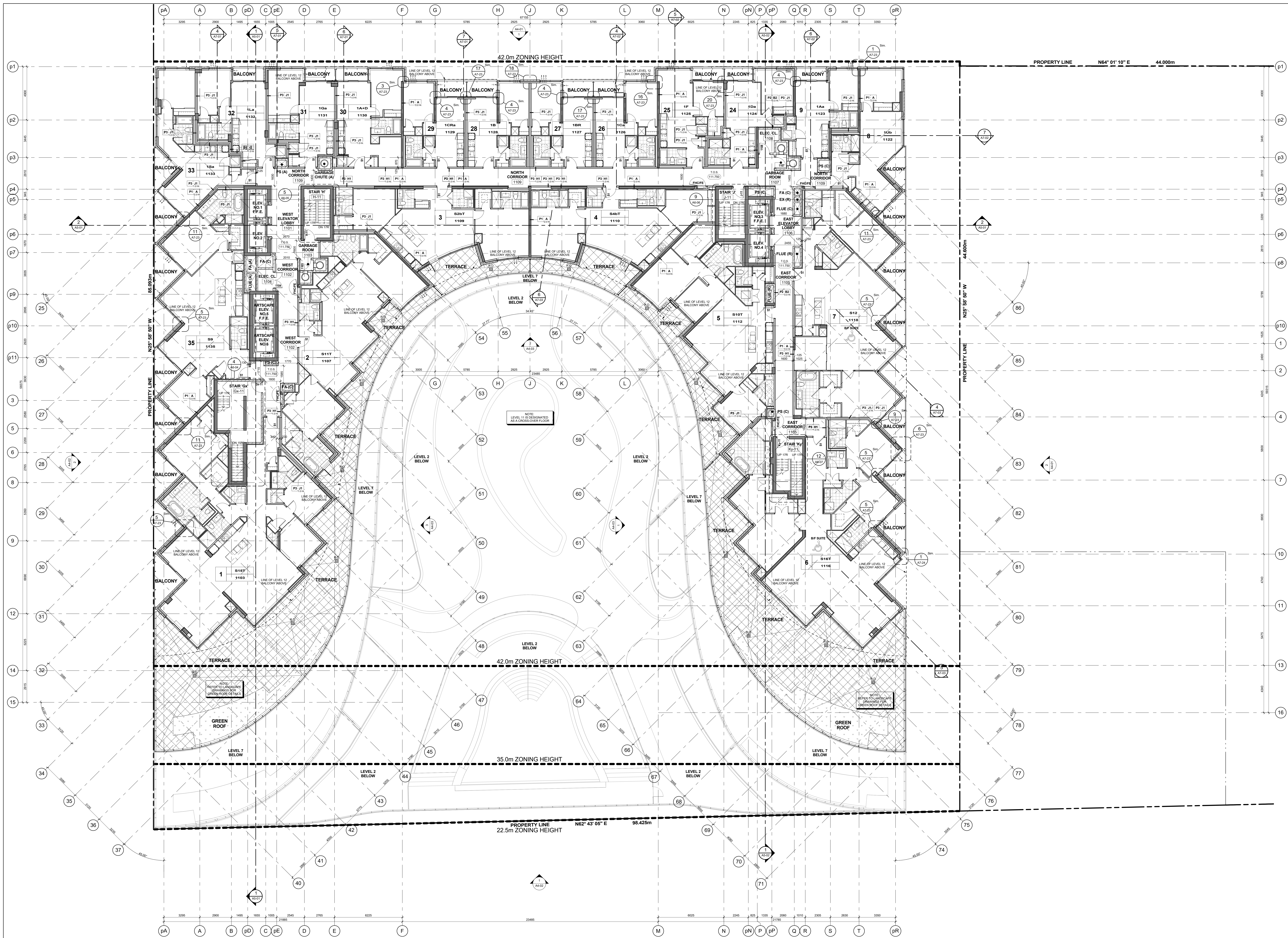




GENERAL NOTES LEGEND		
U.S.	CATCH BASIN	
A.D.	AREA DRAIN	
F.D.	FLOOR DRAIN	
R.D.	ROOF DRAIN	
S.D.	SCUPPER DRAIN	
T.B.	TRENCH DRAIN	
L.O.	LANDSCAPE DRAIN	
M.C.	MEDICINE CABINET	
100.0 L	TOP OF CONCRETE SLAB - LOW POINT	
100.0 H	TOP OF CONCRETE SLAB - HIGH POINT	
100.0 W	TOP OF CONCRETE WALL	
100.0 C	TOP OF CONCRETE CURB	
100.0 S	TOP OF CONCRETE SLAB	
XXX	SPRINKLERED WINDOW ASSEMBLY	
----	DENOTES CHAIN LINK FENCE	
+	EXISTING SPOT ELEVATION	
XXX	PROPOSED FINISHED SPOT ELEVATION	
XXX	PROPOSED FINISHED SPOT ELEVATION RELATIVE TO GROUND FLOOR ELEVATION	
XXX	PROPOSED LANDSCAPE ELEVATION	
XX XX	SEE AS-SCHEDULES & A-DETAILS	
XX XX	ROOM NUMBER	
XX XX	FLOOR/CEILING ASSEMBLY TYPE	
XX XX	DOOR NUMBER	
XX	RAILING TYPE (SEE AT SECTIONS FOR DETAILS)	
	HATCH DENOTES THERMAL INSULATION AND HEATED FURNISH TO US OF SLAB. REFER TO DETAIL THERMAL INSULATION FOR DETAILS.	
	HATCH DENOTES THERMAL INSULATION TO US OF SLAB. REFER TO DETAIL THERMAL INSULATION FOR DETAILS.	
	HATCH DENOTES SUSPENDED ACoustic CEILING. REFER TO DETAIL SUSPENDED ACoustic CEILING FOR DETAILS.	
	HATCH DENOTES ACoustic CEILING TO US OF SLAB. REFER TO DETAIL ACoustic CEILING TO US OF SLAB FOR DETAILS.	
	HATCH DENOTES HORIZONTAL FIRE RATED ENCLOSURE. REFER TO DETAIL HORIZONTAL FIRE RATED ENCLOSURE FOR DETAILS.	
	HATCH DENOTES SHIRT CEILING. REFER TO DETAIL SHIRT CEILING FOR DETAILS.	
	HATCH DENOTES SHIRT CEILING TO US OF SLAB. REFER TO DETAIL SHIRT CEILING TO US OF SLAB FOR DETAILS.	
	HATCH DENOTES FLOOR PAINTED WALKWAY AND RAILINGS. REFER TO PROPERTY STANDARDS FOR DETAILS.	
LF	UNIT TYPE	
LF	LF = SUITE LEGAL NUMBER	
LF	LF = SUITE LEGAL NUMBER	
	BARRIER FREE SUITE	

General Notes Legend	
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- GENERAL TYPICAL FLOOR NOTES**
- REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.
 - BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE FLOPPED FROM BALCONY FLOOR DRAINAGE. PROVIDE SCUPPER DRAIN FOR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAIN. SEE PLANS FOR LOCATION.
 - PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL BREEZING THROUGH WALLS AND FLOOR PENETRATIONS AS REQUIRED. REFER TO DETAIL SOUND INSULATION FOR DETAILS.
 - REFER TO WINDOW SCHEDULES FOR LOCATION OF WINDOW OPENING SECTION AND INSET SCREENS.
 - PROVIDE ALL FLOORING SPECIFICATIONS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
 - COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL FIRE AND SMOKE EXHAUST REQUIREMENTS.
 - ALL BATHROOM CEILINGS TO BE CONSTRUCTED AS PER DETAIL. PROVIDE ACoustical BATT IN ALL BATHROOM CEILING.
 - AT ALL STAIR PRESSURIZATION SHUNT ENCLOSURES, NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THRU THE ENCLOSURE.
 - ELEVATOR:
 - ELEVATOR SHUNT DIMENSIONS PROVIDED BY THE ELEVATOR CONSULTANT. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE REVERVED ELEVATOR SHOP DRAWINGS.
 - ELEVATOR SHUNT SHALL BE COORDINATED WITH ELEVATOR SUPPLIERS.
 - ELEVATOR SHUNT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 2 HRS.
 - AN INTERFERING FIRE RISK MATERIAL IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLABS.
 - ELEVATOR SHUNT LADDERS TO BE GALVANIZED STEEL AND EXTEND DOWNWARD FROM FLOOR TO BE SUPPORTED BY WALLS.
 - LOCKER ROOM NOTES:

ALL LOCKER ROOMS SHALL BE 1800mm (5'10") LOCATED TO BE CONSTRUCTED WITH PLY WARE PARTITIONS MINIMUM 200mm HIGH. PROVIDE FIRE RESISTANCE RATING OF 2 HRS. ALL WARE PARTITIONS TO BE 400mm BELOW SPRINKLER DEFLECTOR THROUGHOUT.

REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
 - BIKE SPACE NOTES:

ALL BIKE SPACE TO COMPLY WITH TORONTO BIKEWAY STANDARDS. PROVIDE BICYCLE RACKS WITH 1800mm x 1800mm x 1800mm VERTICAL BICYCLE RACKS WITH 1800mm x 1800mm x 1800mm.
 - ABUSE RESISTANT CRITICAL TO BE USED ON ALL ARTISAN AFFORDABLE LOBBY AND CORRIDOR WALLS.
 - SUITE TO SUITE BLOCK WALL TO BE NORMAL WEIGHT FOR ACoustics. REFER TO ACoustical REPORT.

GENERAL TYPICAL FLOOR NOTES		
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Constructor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawing.

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Date:

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No.:	Revision	Date:
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PROGRESS SET

July 11, 2016

4.	Roofing Tender	Feb. 8, 2016
3.	Tender	Oct. 12, 2015
2.	Building Permit	June 12, 2015
1.	Waterfront Toronto Review	May 1, 2015

No. Issued For: _____ Date: _____

AQUAVISTA

AT BAYSIDE TORONTO

Drawing Title: Floor Plans
Level 11 - Eleventh Floor Plan

Project: **Hines TRIDEL AQUAVISTA**
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

Scale: 1:100
Drawn by: E.V. / M.R.
Checked by: C.A.
Project No.: 13148
Date: July 11, 2016
Drawing No.: **A2-17**