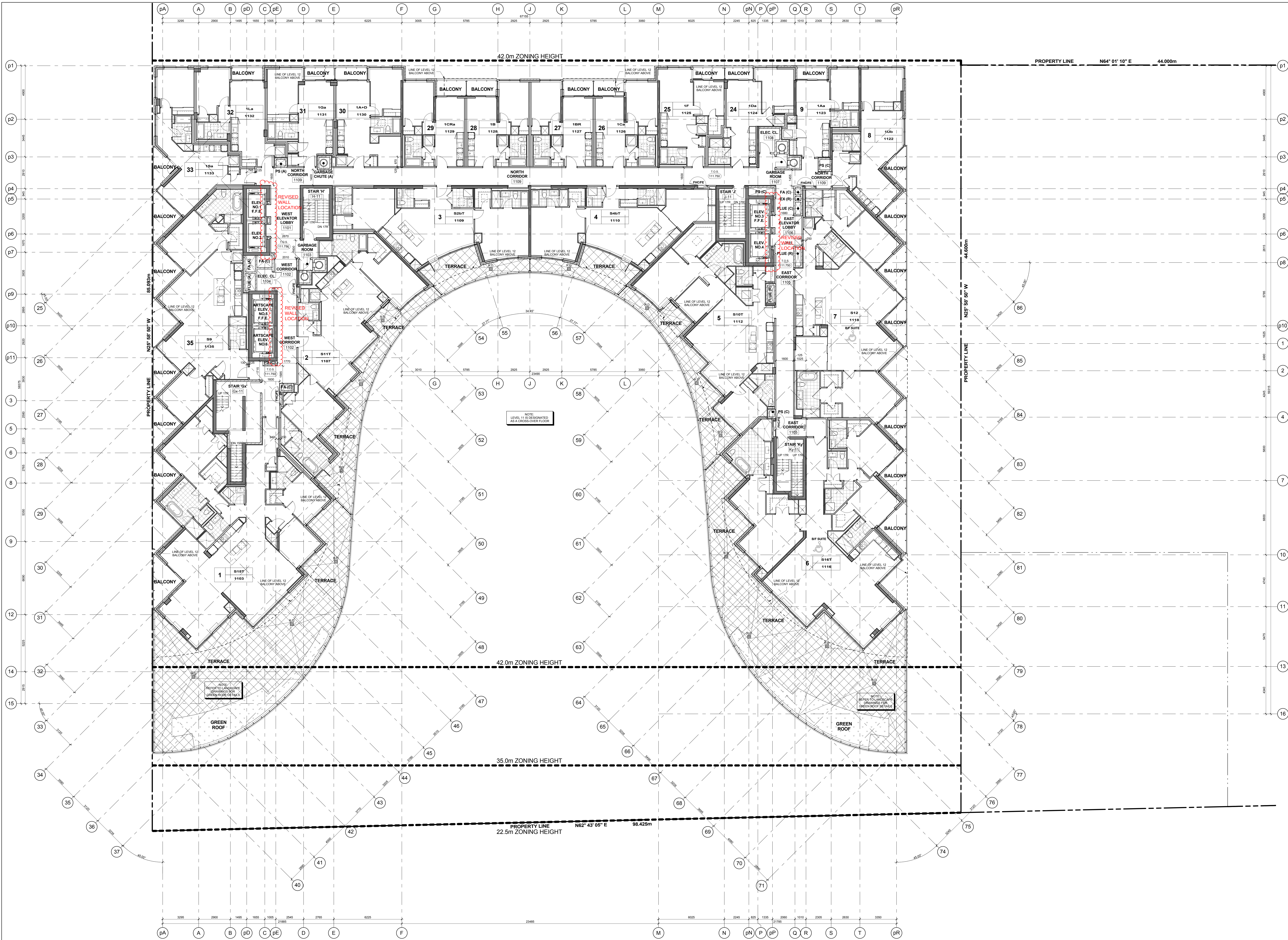




GENERAL NOTES LEGEND

U.S. CATCH BASIN
A.D. AREA DRAIN
F.D. FLOOR DRAIN
R.D. ROOF DRAIN
S.D. SCUPPER DRAIN
T.B. TRENCH DRAIN
L.D. LANDSCAPE DRAIN
M.C. MEDICINE CABINET

100.0 L TOP OF CONCRETE SLAB - LOW POINT
100.0 H TOP OF CONCRETE SLAB - HIGH POINT
100.0 W TOP OF CONCRETE WALL
100.0 C TOP OF CONCRETE CURB
100.0 S TOP OF CONCRETE SLAB

XXX SPRINKLER WINDOW ASSEMBLY

----- DENOTES CHAIN LINK FENCE

--- EXISTING SPOT ELEVATION

+ XXX PROPOSED FINISHED SPOT ELEVATION
RELATIVE TO GROUND FLOOR ELEVATION

+ XXX PROPOSED LANDSCAPE ELEVATION
(SEE AS-SCHEDULES A AT DETAILS)

XX XX ROOM NUMBER
(SEE AS-SCHEDULES A AT DETAILS)

XX XX FLOORCEILING ASSEMBLY TYPE
(SEE AS-SCHEDULES A AT DETAILS)

DOOR NUMBER
(SEE AS-SCHEDULES A AT DETAILS)

RAILING TYPE (SEE AT SECTIONS FOR DETAILS)

HATCH DENOTES THERMAL INSULATION AND HEATED FURNISH TO US OF SLAB.
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES THERMAL INSULATION TO US OF SLAB.
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES SUSPENDED ACOUSTIC CEILING
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES ACOUSTIC CEILING TO US OF SLAB.
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES HORIZONTAL FIRE RATED ENCLOSURE
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES SLOPED CEILING
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES SUSPENDED DRYWALL OR 5-BAY CEILING
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

HATCH DENOTES FLOOR PAINTED WALKWAY ASSEMBLY
REFER TO DETAIL CHANGING ROOMS OR CHANGING ROOMS FOR EXTENT

UNIT TYPE
LW = SUITE LEGAL NUMBER
MW = MANICURE NUMBER

BARREER FREE SUITE

General Notes Legend

GENERAL TYPICAL FLOOR NOTES

1. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS

2. BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE FLOPPED FROM FLOORING DRAWINGS. PROVIDE SCUPPER DRAIN FOR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAIN. SEE PLANS FOR LOCATION

3. PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL WOOD STRUCTURAL WALLS AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS & ELECTRICAL REPORT

4. REFER TO WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSET SCREEN

5. PROVIDE ALL FLOORING SPEC'S AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS

6. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL FIRE AND SMOKE EXISTENCE REQUIREMENTS

7. ALL BATHROOM CEILINGS TO BE CONSTRUCTED AS PER DETAIL SCHEDULE. PROVIDE ACoustical BATT IN ALL BATHROOMS

8. AT ALL STAIR PRESSURIZATION SHAFT ENCLOSURES, NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THRU THIS ENCLOSURE

9. ELEVATOR:
A. ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE ELEVATOR CONSULTANT. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE REVISED ELEVATOR SHOP DRAWINGS.
B. ELEVATOR SHAFTS SHALL BE COORDINATED WITH ELEVATOR SUPPLIERS.
C. ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 2 HRS.
D. AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLABS.
E. ELEVATOR SHAFT LADDERS TO BE GALVANIZED STEEL AND EXTEND DOWNWARD MIN. 10' TO THE SURFACE & INSTALLED BY LOCKER ROOM NOTES.
F. LOCKER ROOM NOTES:
ALL LOCKER ROOMS TO BE 100mm (4") LOCKERS TO BE CONSTRUCTED WITH 1/2" WIRE MESH PARTITIONS MINIMUM 200mm HIGH. PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILINGS TO BE 40mm BELOW SPRINKLER DEFLECTOR THROUGHOUT.
G. REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT

10. BICYCLE SPACE NOTES:
ALL BICYCLE SPACES TO COMPLY WITH TORONTO BICYCLE BYLAW STANDARDS. HORIZONTAL BACKING MIN. 1000mm x 1000mm. VERTICAL BACKING MIN. 1000mm x 1000mm.

11. ABUSE RESISTANT CRITICAL WALL TO BE USED ON ALL ARTS/CAFÉ AFFORDABLE LOBBY AND CORRIDOR WALLS

12. SUITE TO SUITE BLOCK WALL TO BE NORMAL WEIGHT FOR ACOUSTICS. REFER TO ACOUSTICAL REPORT

Constructor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawing.
All Drawings, Specifications And Related Documents Are The Copyright Of KIRKOR ARCHITECTS + PLANNERS
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K6
Tel: (416) 593-5500, Fax: (416) 593-1235, www.kirkorarchitects.com
This Drawing Is Not To Be Used For Construction Unless Signed By The Architect.
Date

KIRKOR ARCHITECTS + PLANNERS

No.: Revision Date

REVISIONS TO ELEVATOR SHAFTS AS PER ELEVATOR SHOP DRAWING

MAY 12, 2016

4.	Roofing Tender	Feb. 8, 2016
3.	Tender	Oct. 15, 2015
2.	Building Permit	June 12, 2015
1.	Waterfront Toronto Review	May 1, 2015

No. Issued For Date

AQUAVISTA
AT BAYSIDE TORONTO

Drawing Title
Floor Plans
Level 11 - Eleventh Floor Plan

Project
Hines TRIDEL
AQUAVISTA
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

Scale
1 : 100
Drawn by
E.V. / M.R.
Checked by
C.A.
Project No.
13148
Date
May 12, 2016
Drawing No.
A2-17