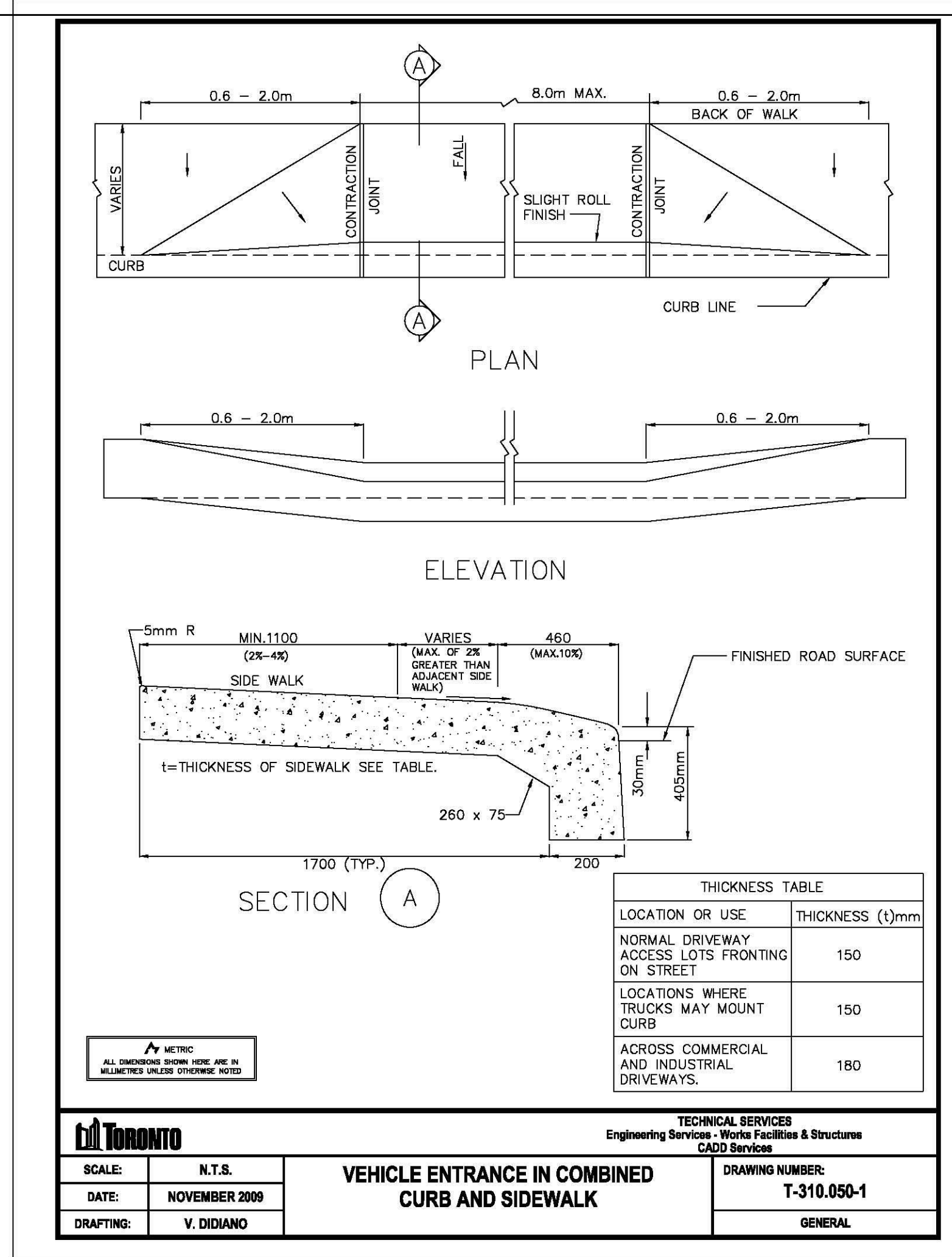


Item	The Ontario Building Code 2006 Containing the Building Code Act and O. Reg 350/06 amended to O.Reg 315/11 Data Matrix Part 3 High Rise Residential Buildings					OBC Reference	
1	Project Description: 263 Queen's Quay Avenue East					1.1.2.	
2	Major Occupancy(s): Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)					3.1.2.1.(1)	
3	Subsidiary Occupancy(s) Group A2 - Assembly occupancies (Amenity Areas)					3.1.2.1.(1)	
4	Building Area (m ²)		2942 m ²		1.4.1.2.		
5	Gross Area (m ²)		31636 m ²		1.4.1.2.		
6	Number of Storeys	17	Above grade	13	Below grade	4	1.4.1.2. & 3.2.1.1.
7	Number of streets/Fire Fighter Access					2	3.2.2.10. & 3.2.5.
8	Building Classification: Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)					3.2.2.42. 3.2.2.57 3.2.2.73	
9	Sprinkler System Proposed					■ Building Classification ■ Selected compartments ■ Selected floor areas ■ Basement ■ In lieu of roof rating	3.2.2.20 - 83 3.2.1.5. 3.2.2.17.
10	Standpipe required					Yes	3.2.9.
11	Fire Alarm required					Yes	3.2.4.
12	Water Service/Supply is Adequate					Yes	3.2.5.7.
13	High Building					Yes	3.2.6.
14	Construction Restrictions					Non-combustible required	3.2.2.20 - 83.
15	Mezzanine(s) Area m ²					1052.4	3.2.1.1.(3) - (8)
16	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours) Floors Roof FRR of Supporting Members Floors Roof		Listed Design No. or Description (SG-2) Refer to A8 Schedule Refer to A8 Schedule Listed Design No. or Description (SG-2) Refer to A8 Schedule Refer to A8 Schedule	3.2.2.20 - 83. & 3.2.1.4.	
17	DESCRIPTION OF FIRE SEPARATIONS					Fire-Resistance Rating	OBC Reference
	Exits Stairs					2 Hours	3.4.4.1.(1)
	Elevator Shaft (Containing Firefighters Elevator)					2 Hours	3.2.6, 3.2.7.9 & 3.5.3.1.(1)
	Electrical Closet (Containing equipment required to be in a service room by the Ontario Electrical Code)					1 Hour (1)	3.6.2.1.(6)
	Electrical Closet (Containing emergency life safety circuits / equipment)					2 Hours	3.2.7.8.(3) & 3.2.7.9
	Vertical Service Spaces					1 Hour (1)	3.6.3.1.(1)
	Janitor's Room					0 Hour	3.3.1.20.(3)
	Electrical Equipment Vault					2 Hours	3.6.2.7.(1)
	Suite-to-Suite Fire Separation, including Suite to Corridor Fire Separation (Group C)					1 Hour	3.3.4.2.(1) & 3.3.4.2.(3)(b)(i)
	Storage / Locker Rooms for Residents					1 Hour (plus sprinklers)	3.3.4.3.(2)
	Residential Public Corridor					1 Hour	3.3.1.4.(1) & 3.3.4.2.(1) & 3.2.6.5.
	Parking Garage to any Other Occupancy					1.5 Hours	3.3.5.6.(1)
	Garbage Chute Intake Room					1 Hour	3.6.3.3.(5), 3.3.1.4.(1) & 3.3.4.2.(1)
	Garbage Chute Discharge Room					2 Hours	3.6.3.3.(9)
	Garbage Chute Shaft					2 Hours (4)	3.6.3.3.(2)
	Central Alarm and Control Facility					2 Hours	3.2.6.7.
	Emergency Generator Room					2 Hours	3.2.7.8.(3)
	Service Rooms (Containing emergency life safety circuits / equipment)					2 Hours	3.2.7.8.
	Service Rooms (With Fuel Fired Equipment)					1 Hour	3.6.2.1.(1)
	Measure N Vestibules					2 Hours	3.2.6.3.(1), SB-4
	Vestibules to protect the firefighters' elevator					45 Min.	3.2.6.5.(3)(b)
	Vestibules to protect elevators on below grade levels					2 Hours	SB-4, Measure A (5)
	(1) 2 h if housing emergency life safety circuits / equipment. (2) 0 h if the floor area is sprinklered (i.e., Ground floor) 3.3.1.20.(3)(i) (3) 2 h if sprinkler protected. (4) Without closures at outlet into Discharge Room (1 h otherwise).						
18	Spatial Separation						3.2.3.
	Refer to elevation drawings for spatial separation requirements						
	Construction of Exterior Walls						
	Refer to A8 Schedule						
19	Barrier-free Design						3.8.
	In a Group C major occupancy apartment building, not less than 15% of all residential suites conforming to sections 3.8.2.1.(6), 3.8.3.3.(10), 3.3.4.9(1), 3.8.3.8(1)(g) and 3.8.3.13(1)(f), as well, each barrier-free suite should have a barrier free path of travel (1100mm) from suite entry door to one bedroom, one bathroom, a kitchen or a kitchen space, and a living room or living space where doorways leading to these spaces to be a min 850mm clear						3.8.2.1.(4)

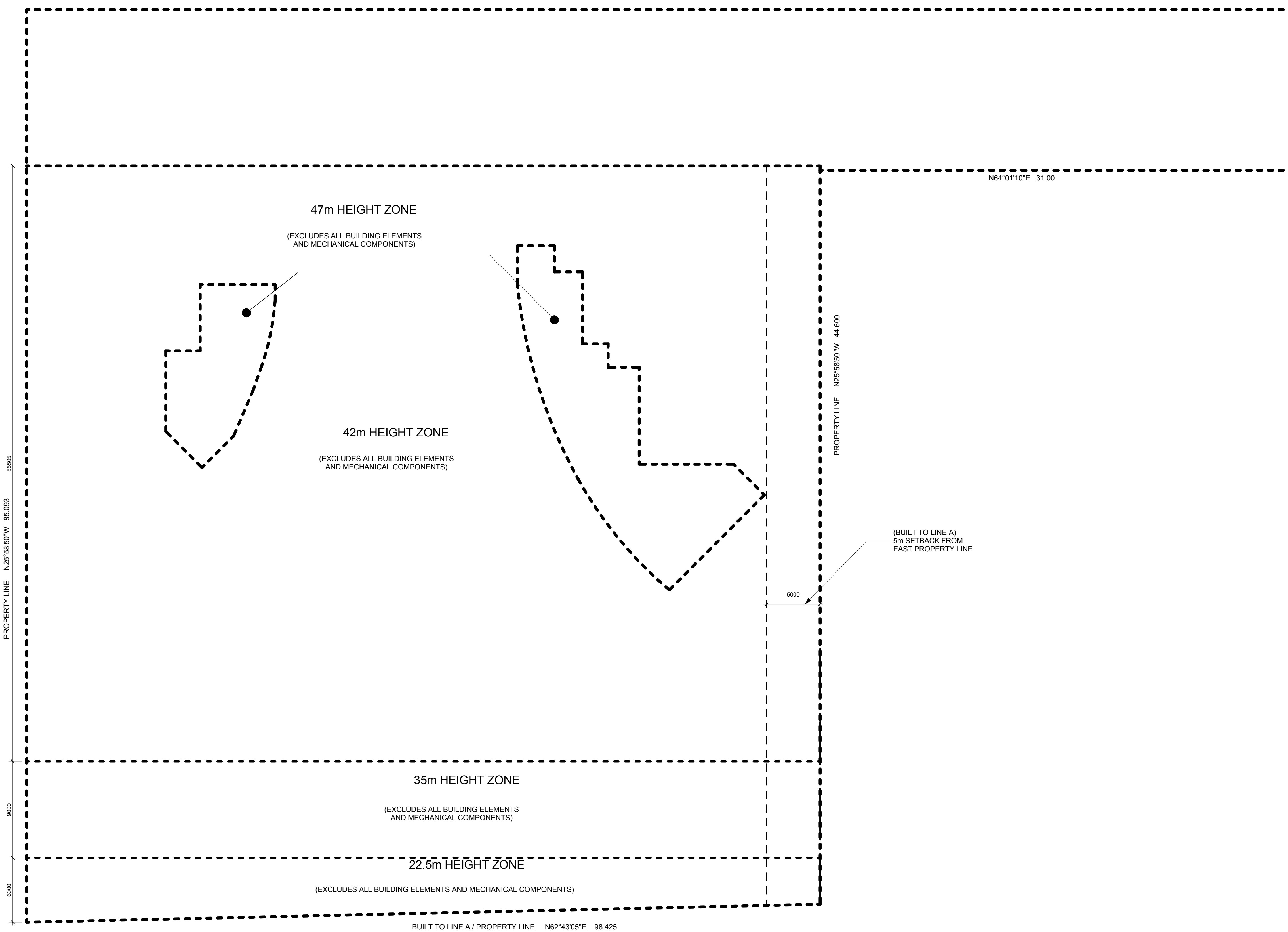
Zoning Height Diagram 5
A1-01



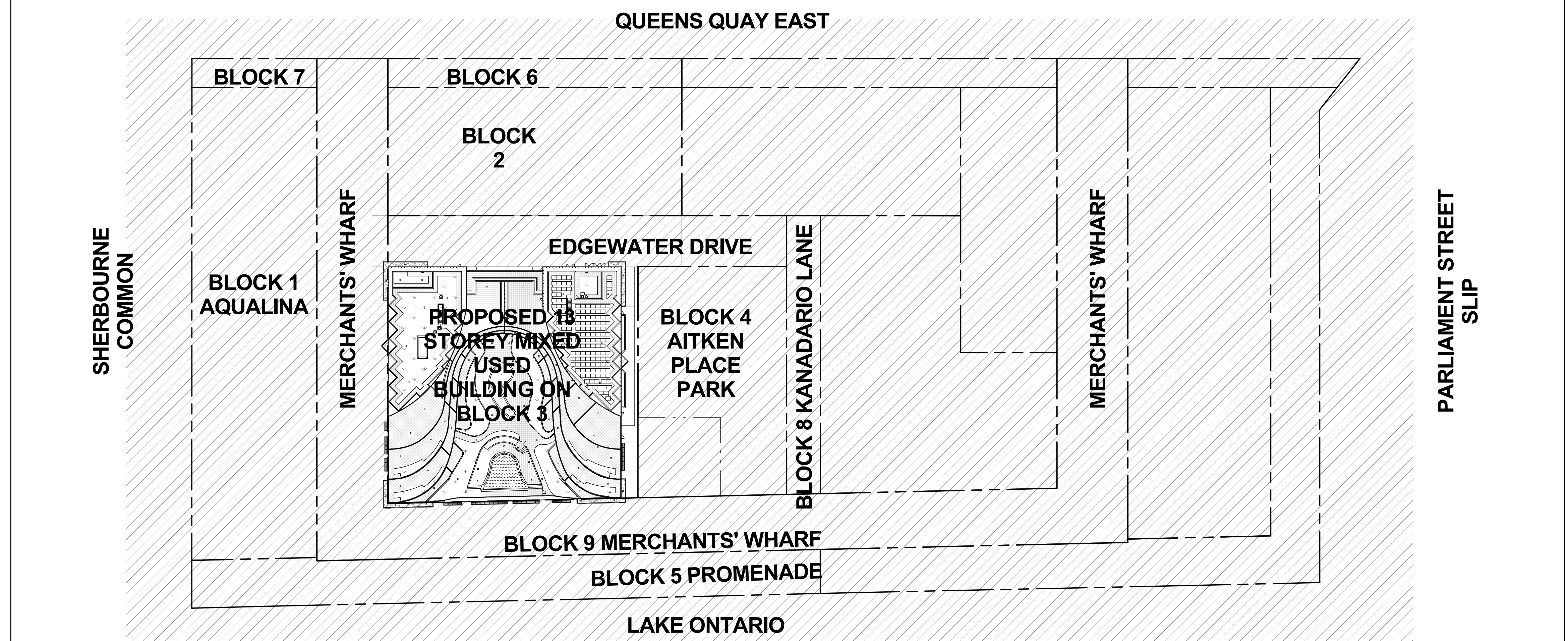
City Standard Detail NO. T-310.050-1 5
NTS A1-01



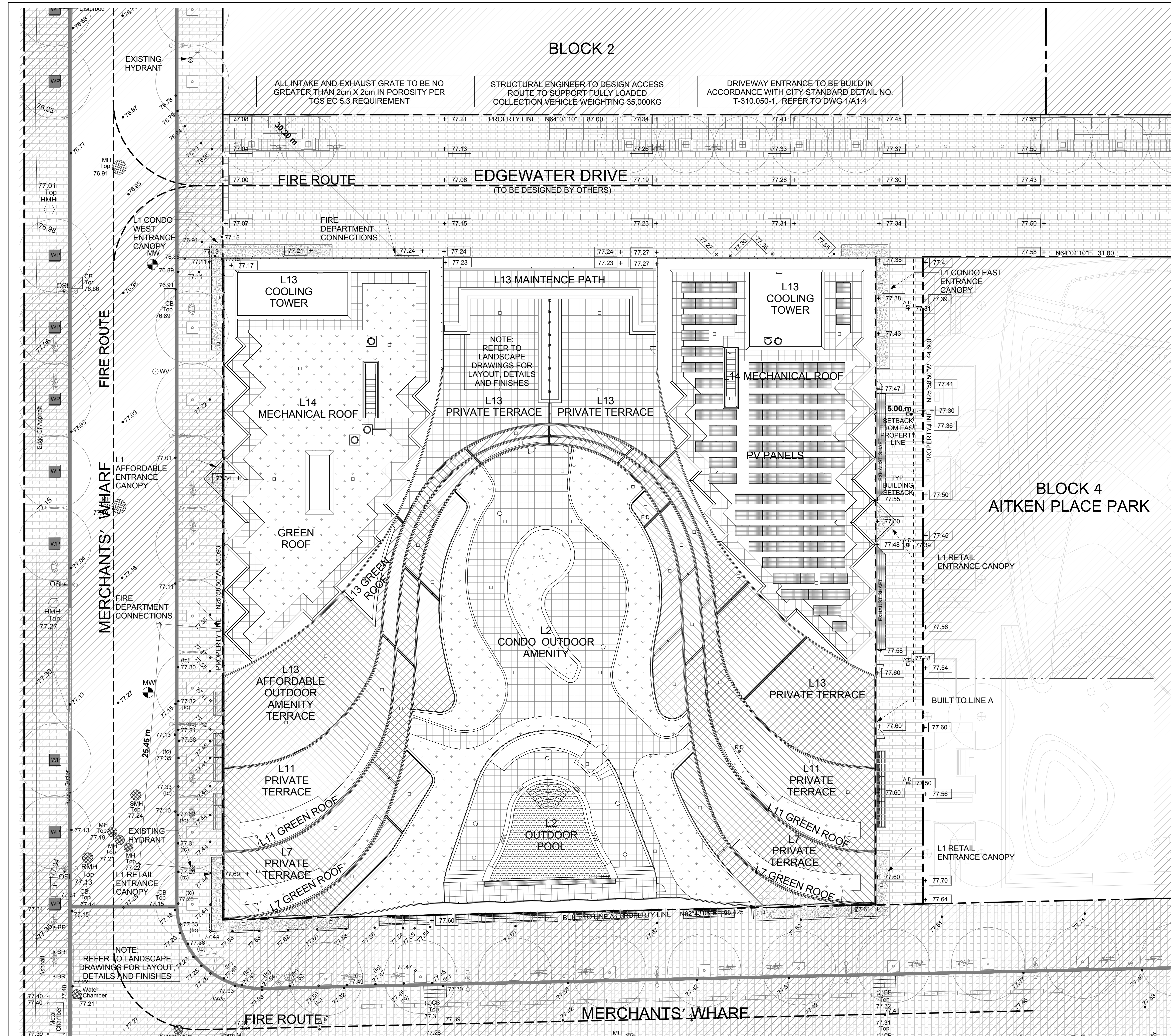
Context Map 4
NTS A1-01



Proposed Zoning Height Diagram - Map B1 3
SCALE 1:300 A1-01

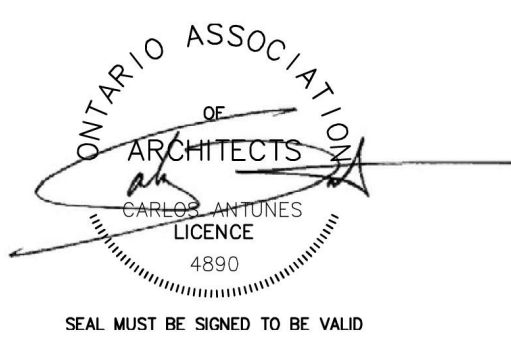


Master Plan 2
SCALE 1:750 A1-01



Site Plan 1
SCALE 1:200 A1-01

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawings.
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Date: February 8, 2016



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No.: Revision Date:

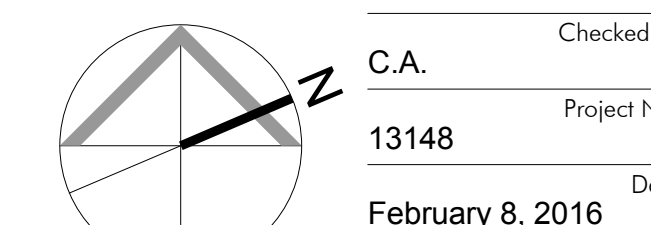
5.	Roofing Tender	Feb. 8, 2016
4.	Tender	Oct. 15, 2015
3.	Building Permit Resubmission	July 14, 2015
2.	Building Permit	June 12, 2015
1.	Waterfront Toronto Review	May 1, 2015
No.	Issued For	Date

AQUAVISTA
AT BAYSIDE TORONTO

Drawing Title
Site Plan
Site Plan, Master Plan,
Zoning Diagram & OBC
Matrix

Project
Hines TRIDEL
AQUAVISTA
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

As indicated
C.L.
13148
February 8, 2016
Drawing No.



A1-01