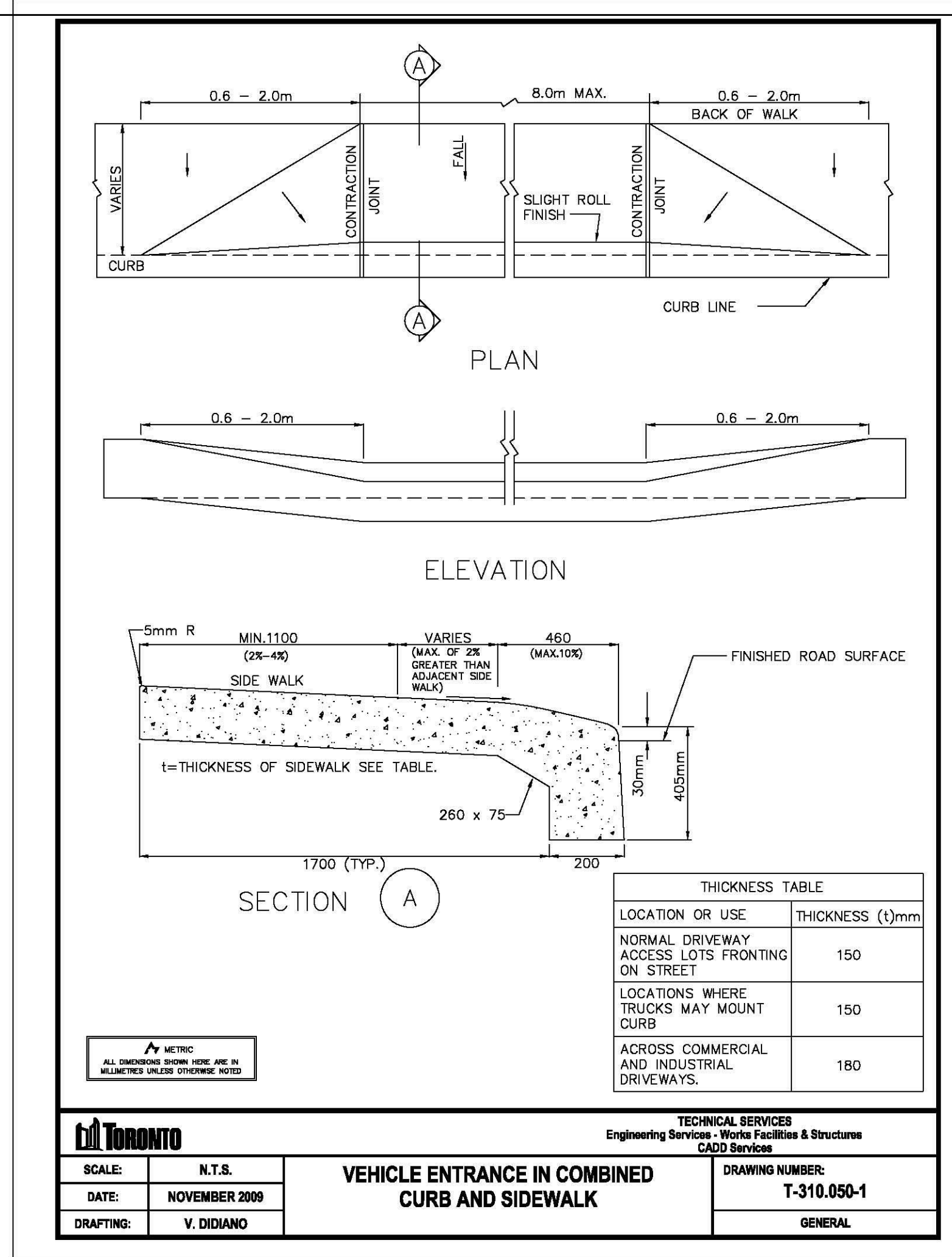


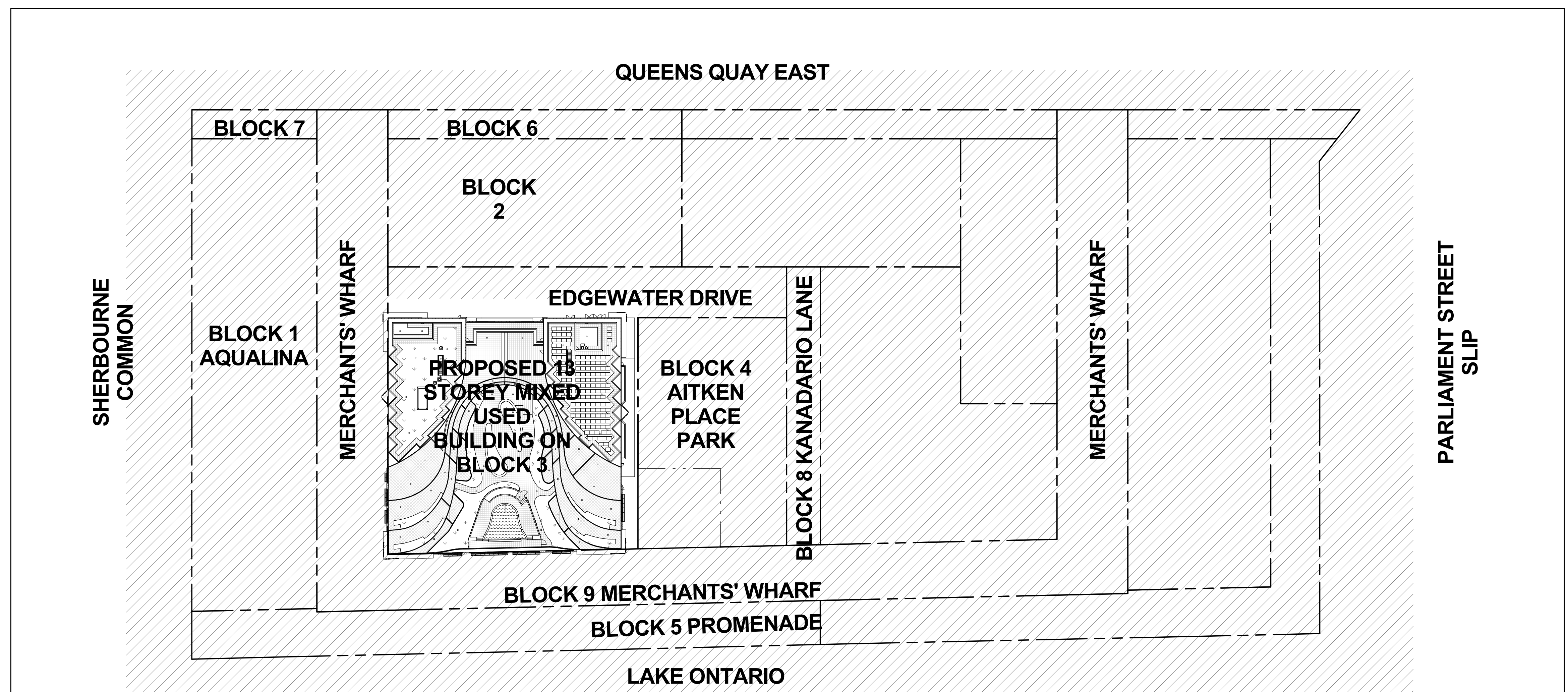
Item	The Ontario Building Code 2006 Containing the Building Code Act and O. Reg 350/06 amended to O. Reg 315/11 Data Matrix Part 3 High Rise Residential Buildings			OBC Reference
1	Project Description: 263 Queen's Quay Avenue East			1.1.2.
2	Major Occupancy(s): Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)			3.1.2.1.(1)
3	Subsidiary Occupancy(s): Group A2 - Assembly occupancies (Amenity Areas)			3.1.2.1.(1)
4	Building Area (m ²)			2942 m ² 1.4.1.2.
5	Gross Area (m ²)			31636 m ² 1.4.1.2.
6	Number of Storeys	17	Above grade 13 Below grade 4	1.4.1.2. & 3.2.1.1.
7	Number of streets/Fire Fighter Access			2 3.2.2.10. & 3.2.5.
8	Building Classification: Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)			3.2.2.42. 3.2.2.57 3.2.2.73
9	Sprinkler System Proposed			3.2.2.20 - 83 3.2.1.5. 3.2.2.17.
10	Standpipe required			Yes 3.2.9.
11	Fire Alarm required			Yes 3.2.4.
12	Water Service/Supply is Adequate			Yes 3.2.5.7.
13	High Building			Yes 3.2.8.
14	Construction Restrictions			Non-combustible required 3.2.2.20 - 83.
15	Mezzanine(s) Area m ²			1052.4 3.2.1.1.(3) - (8)
16	Required Fire Resistance Rating (FRR)			3.2.2.20 - 83. 3.2.1.4.
17	DESCRIPTION OF FIRE SEPARATIONS		Fire-Resistance Rating	OBC Reference
	Exits Stairs	Horizontal Assemblies FRR (Hours)	2 Hours	3.4.4.1.(1)
18	Refer to elevation drawings for spatial separation requirements			3.2.3.
	Construction of Exterior Walls			
19	Refer to A8 Schedule			3.8.
	Barrier-free Design			
20	In a Group C major occupancy apartment building, not less than 15% of all residential suites conforming to sections 3.8.2.1.(6), 3.8.3.3.(10), 3.3.4.9(1), 3.8.3.8(1)(g) and 3.8.3.13(1)(f), as well, each barrier-free suite should have a barrier free path of travel (1100mm) from suite entry door to one bedroom, one bathroom, a kitchen or a kitchen space, and a living room or living space where downways leading to these spaces to be a min 860mm clear			3.8.2.1.(4)



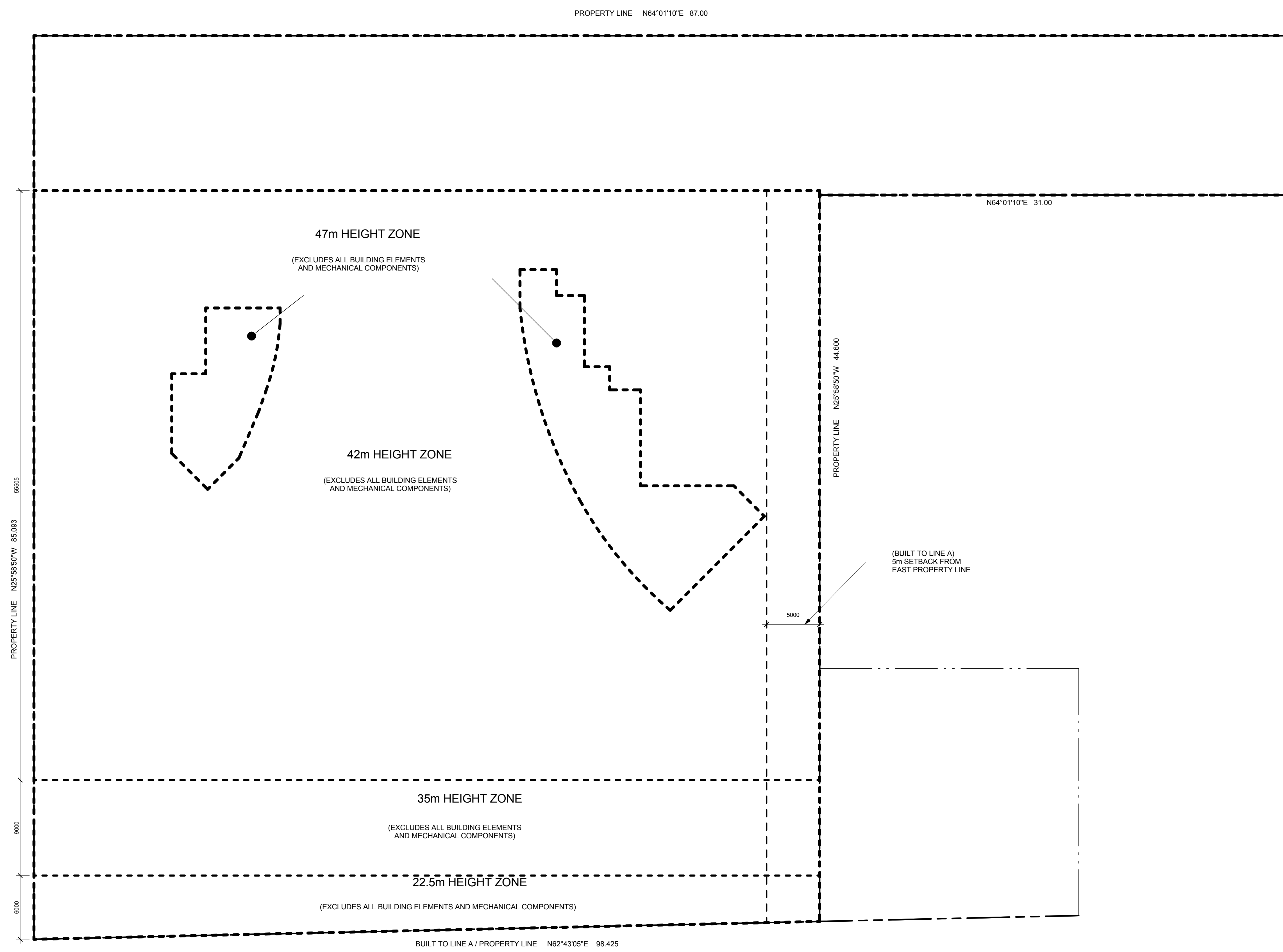
City Standard Detail NO. T-310.050-1
NTS



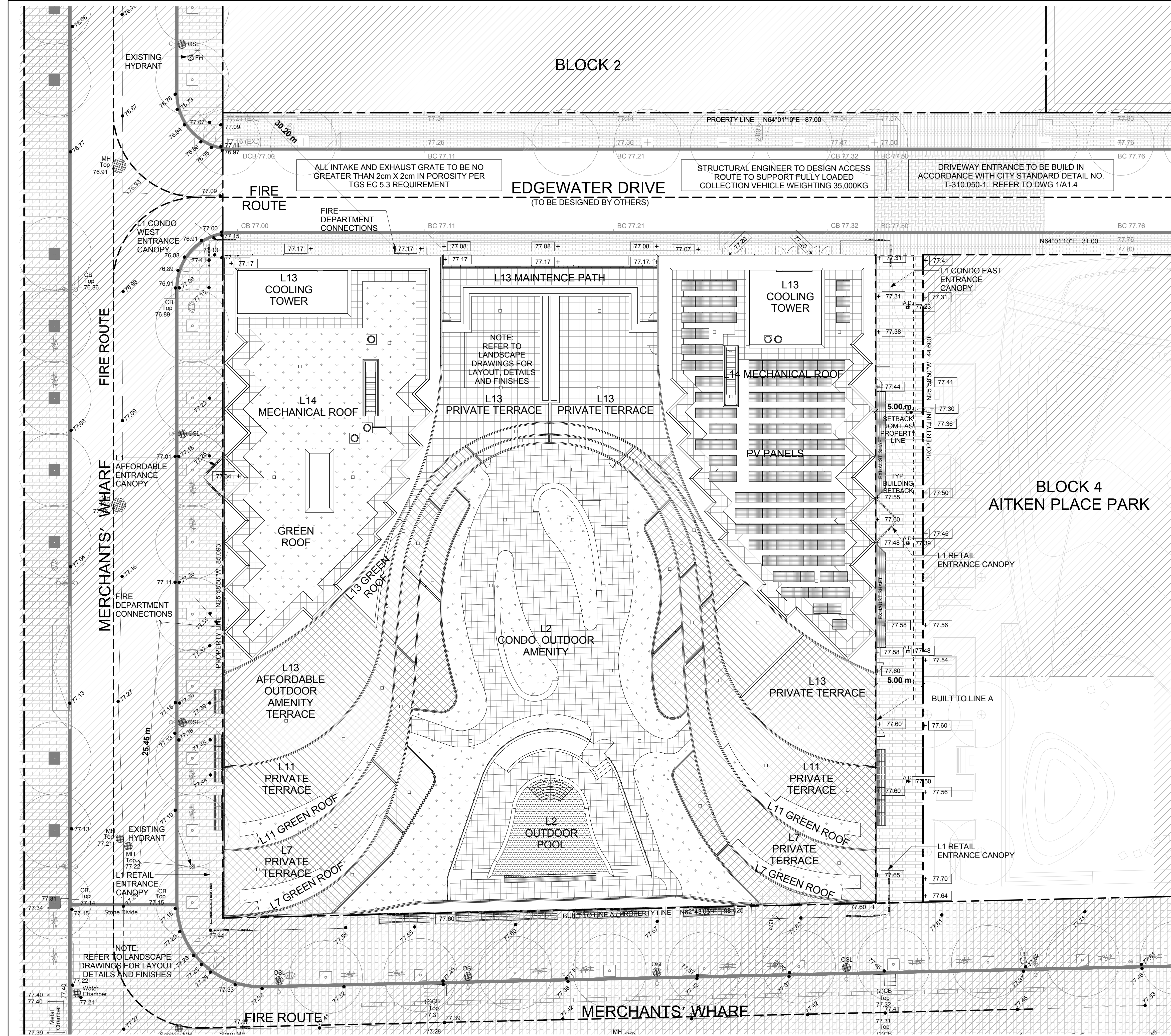
Context Map
NTS



Master Plan
SCALE 1:750
A1-01



Proposed Zoning Height Diagram - Map B1
SCALE 1:300
A1-01



Site Plan
SCALE 1:200
A1-01

Contractor Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawing.
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Date: October 2, 2015

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No.: Revision Date:

PRICING SET
October 2, 2015

AQUAVISTA
AT BAYSIDE TORONTO

Project:
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

As indicated
C.L.
13148
October 2, 2015
Drawing No.

A1-01