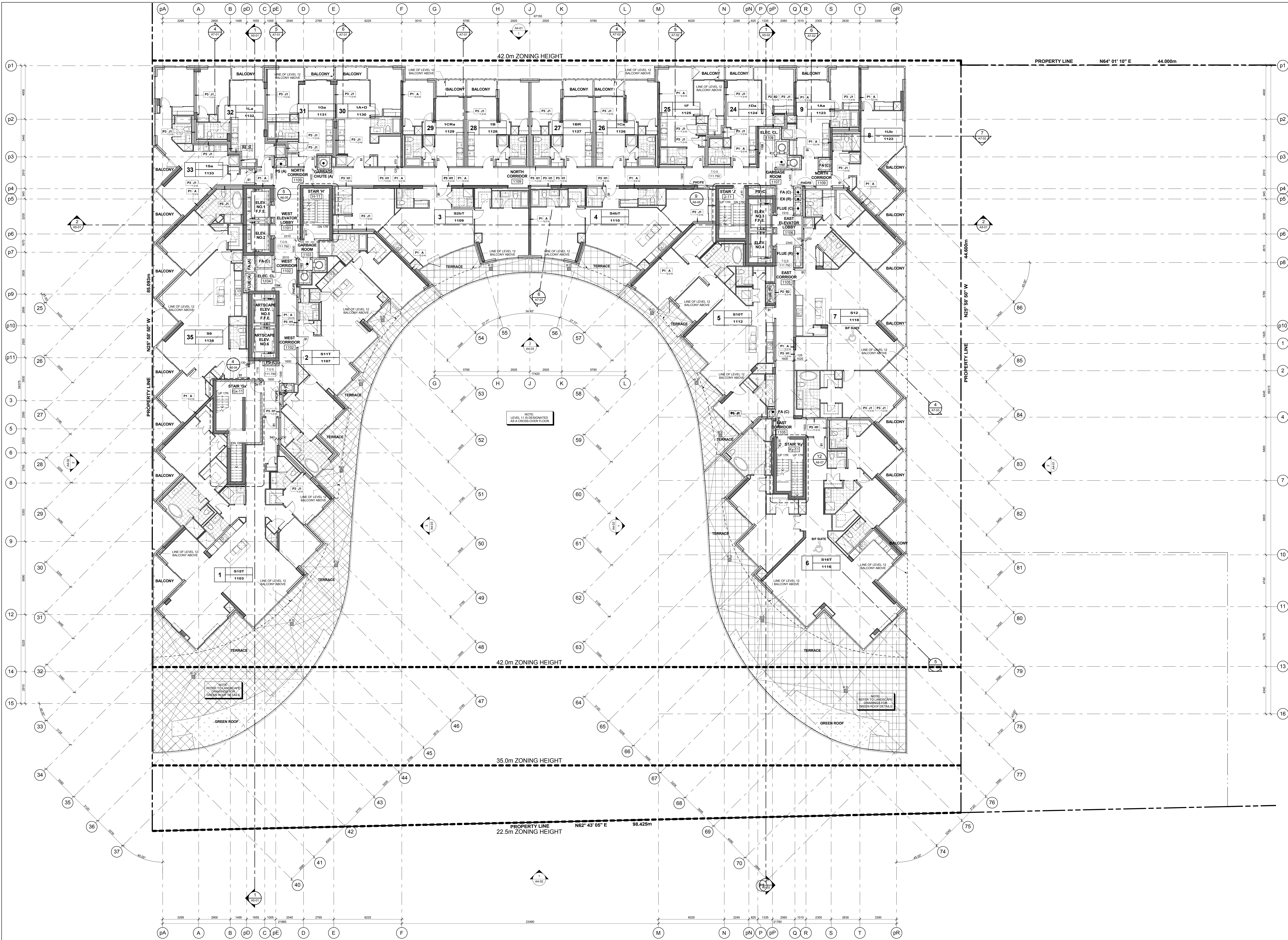




GENERAL NOTES LEGEND	
C.B.	CURTAIN WALL
A.D.	AREA DRAIN
F.D.	FLOOR DRAIN
R.D.	ROOF DRAIN
S.D.	SCUPPER DRAIN
T.B.	TRENCH DRAIN
L.D.	LANDSCAPE DRAIN
TS.S.L.	TOP OF CONCRETE SLAB - HIGH POINT
TS.S.P.	TOP OF CONCRETE SLAB - LOW POINT
TS.W.	TOP OF CONCRETE WALL
TS.C.	TOP OF CONCRETE CURB
TS.S.	TOP OF CONCRETE SLAB
XXX	SPRINKLER WINDOW ASSEMBLY
-----	DENOTES CHAIN/LINK FENCE
+	EXISTING SPOT ELEVATION
XXX	PROPOSED FINISHED SPOT ELEVATION
XXX	PROPOSED FINISHED SPOT ELEVATION RELATIVE TO UNGROUND FLOOR ELEVATION
XXX	PROPOSED LANDSCAPE ELEVATION
XXX	WALL TYPE & FIRE RATING (SEE A-B SCHEDULES & AT DETAILS)
XXX	WINDOW TYPE (SEE A-B SCHEDULES & AT DETAILS)
XXX	ROOM NUMBER (SEE A-B SCHEDULES FOR ROOM SCHEDULES)
XXX	FLOORING FINISH TYPE (SEE A-B SCHEDULES & AT DETAILS)
XXX	DOOR NUMBER (SEE A-B SCHEDULES FOR DOOR & FRAME SCHEDULES)
XXX	RAILING TYPE (SEE AT SECTIONS FOR DETAILS)
XXX	HATCH DENOTES SUPPLEMENTED DIVISION BOARD CEILING (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES THERMAL INSULATION AND HEATED PLUMBING TO US OF SLAB (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES THERMAL INSULATION TO US OF SLAB (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES SUPPLEMENTED ACOUSTIC CEILING (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES ACOUSTIC CEILING TO US OF SLAB (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES HORIZONTAL FIRE RATED ENCLOSURE (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	HATCH DENOTES FLOOR FINISHES (REFER TO DETAIL CHANGES, CHANGES TO CHANGES)
XXX	UNIT TYPE (SEE A-B SCHEDULES FOR UNIT TYPE SCHEDULES)
XXX	UNIT TYPE (SEE A-B SCHEDULES FOR UNIT TYPE SCHEDULES)

General Notes Legend 2

GENERAL TYPICAL FLOOR NOTES	
1.	SHADED AREA DENOTES SLAB AREA AND DROP CEILING AT ALL RESIDENTIAL UNITS. SEE MECHANICAL DRAWINGS FOR COORDINATION OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO MECHANICAL AND ELECTRICAL SERVICES.
2.	REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.
3.	BALCONY SLABS AND CONCRETE WALL CONDITIONS TO BE SLOPED AWAY FROM BALCONY FOR DRAINAGE. PROVIDE SCUPPER DRAIN FOR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAINS. SEE PLANS FOR LOCATIONS.
4.	PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS & ACOUSTICAL REPORT.
5.	REFER TO WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND PROJECT NUMBER.
6.	PROVIDE ALL FLOORING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
7.	COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPE AND SHUNT EXCESS REQUIREMENTS.
8.	ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL DRAWINGS FOR BATHROOMS.
9.	AT ALL SHUNT PRESSURE ON SHUNT TWO OVERLAP NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THRU THIS ENCLOSURE.
10.	ELEVATOR: A. ELEVATOR SHUNT DIMENSIONS PROVIDED BY THE ELEVATOR COMPANY. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE ELEVATOR. THE ELEVATOR SHALL BE CO-ORDINATED WITH ELEVATOR SHUNT DIMENSIONS. B. ELEVATOR SHUNT SHALL BE CO-ORDINATED WITH ELEVATOR SHUNT DIMENSIONS. C. ELEVATOR SHUNT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 1 HR. D. AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLAB. E. ELEVATOR RT LADDERS TO BE GALVANIZED STEEL AND EXTEND 150MM ABOVE SLAB. LADDERS TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR.
11.	LOOKER ROOM NOTE: ALL LOOKER ROOMS WITHIN TO BE 100mm (4") LOOKERS TO BE CONSTRUCTED WITH 100mm (4") FIRE RESISTANT WALLS DOWN WORK PROVIDE FIRE RESISTANT WALL AND CEILING. ALL WITH FIRE CEILING TO BE 40MM BELOW SPRINKLER DEFLECTOR THROUGHOUT. REVIEW LOOKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER. PROVIDE INSTALLATION DRAWINGS FOR REVIEW BY OWNER AND GENERAL CONTRACTOR. BICYCLE SPACE NOTES: ALL BICYCLE SPACES TO COMPLY WITH TORONTO BICYCLE BYLAW STANDARDS. HORIZONTAL BACKING ROW X 1800mm X 1800mm. VERTICAL BACKING ROW X 1800mm X 1800mm.

General Typical Floor Notes 1

Consultant Must Check And Verify All Dimensions On The Job.
Do Not Scale The Drawing.
All Drawings, Specifications And Related Documents Are The Copyright Of
The Architect And Not Be Reused Without Written Permission.
The Drawing Is Not To Be Used For Construction Without Written Permission.
Date: June 12, 2015

KIRKOR ARCHITECTS + PLANNERS
20 Martin Ross Avenue, Toronto, Ontario, M3J 2K6
Tel: 416-593-5555, Fax: 416-593-1234, www.kirkorarchitects.com

No.: Revision Date:

AQUAVISTA
AT BAYSIDE TORONTO

Drawing Title
Floor Plans
Level 11 - Eleventh Floor Plan

Project
Hines TRIDEL
AQUAVISTA
Block 3 - R3 & R4
263 Queens Quay East
Toronto, ON

Scale
1 : 100
Drawn by
E.V. / M.R.
Checked by
C.A.
Project No.
13148
Date
June 12, 2015
Drawing No.
A2-17