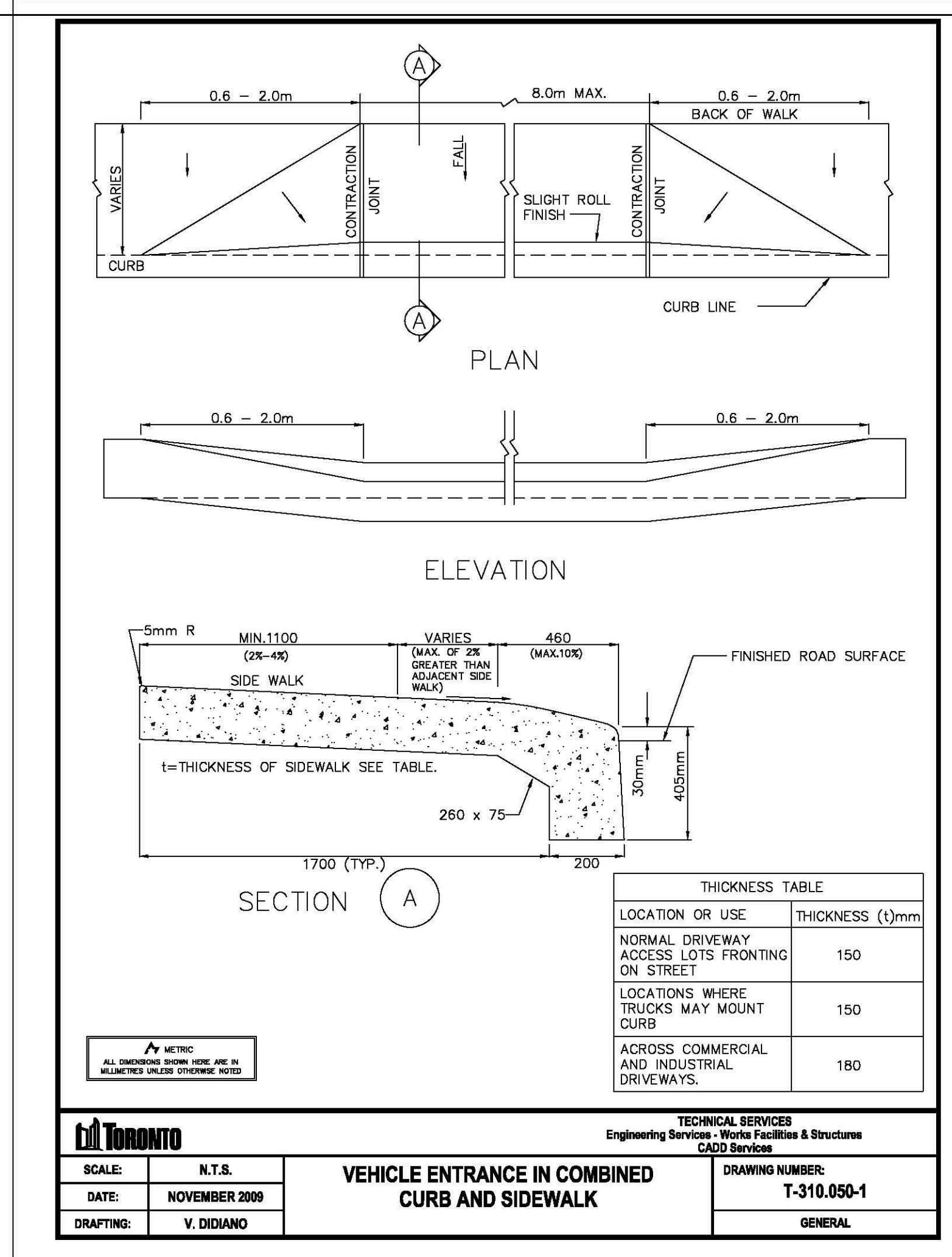


Item	The Ontario Building Code 2006 Containing the Building Code Act and O. Reg 350/06 amended to O.Reg 315/11 Data Matrix Part 3 High Rise Residential Buildings				OBC Reference	
1	Project Description: 263 Queen's Quay Avenue East				1.1.2.	
2	Major Occupancy(s): Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)				3.1.2.1.(1)	
3	Subsidiary Occupancy(s) Group A2 - Assembly occupancies (Amenity Areas)				3.1.2.1.(1)	
4	Building Area (m ²)		2942 m ²		1.4.1.2.	
5	Gross Area (m ²)		31636 m ²		1.4.1.2.	
6	Number of Storeys	17	Above grade	13 Below grade	4 1.4.1.2. & 3.2.1.1.	
7	Number of streets/Fire Fighter Access				2 3.2.2.10. & 3.2.5.	
8	Building Classification: Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial subsidiary occupancy (Storage Garage)				3.2.2.42. 3.2.2.57 3.2.2.73	
9	Sprinkler System Proposed ■ Building Classification ■ Selected compartments ■ Selected floor areas ■ Basement ■ In lieu of roof rating				3.2.2.20 - 83 3.2.1.5. 3.2.2.17.	
10	Standpipe required				Yes 3.2.9.	
11	Fire Alarm required				Yes 3.2.4.	
12	Water Service/Supply is Adequate				Yes 3.2.5.7.	
13	High Building				Yes 3.2.6.	
14	Construction Restrictions				Non-combustible required 3.2.2.20 - 83.	
15	Mezzanine(s) Area m ²				1052.4 3.2.1.1.(3) - (8)	
16	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours) Floors Roof FRR of Supporting Members Floors Roof	Listed Design No. or Description (SG-2) Refer to A8 Schedule Refer to A8 Schedule Listed Design No. or Description (SG-2) Refer to A8 Schedule Refer to A8 Schedule	3.2.2.20 - 83. & 3.2.1.4.	
17	DESCRIPTION OF FIRE SEPARATIONS				Fire-Resistance Rating	OBC Reference
	Exits Stairs				2 Hours	3.4.4.1.(1)
	Elevator Shaft (Containing Firefighters Elevator)				2 Hours	3.2.6, 3.2.7.9 & 3.5.3.1.(1)
	Electrical Closet (Containing equipment required to be in a service room by the Ontario Electrical Code)				1 Hour (1)	3.6.2.1.(6)
	Electrical Closet (Containing emergency life safety circuits / equipment)				2 Hours	3.2.7.8.(3) & 3.2.7.9
	Vertical Service Spaces				1 Hour (1)	3.6.3.1.(1)
	Janitor's Room				0 Hour	3.3.1.20.(3)
	Electrical Equipment Vault				2 Hours	3.6.2.7.(1)
	Suite-to-Suite Fire Separation, including Suite to Corridor Fire Separation (Group C)				1 Hour	3.3.4.2.(1) & 3.3.4.2.(3)(b)(i)
	Storage / Locker Rooms for Residents				1 Hour (plus sprinklers)	3.3.4.3.(2)
	Residential Public Corridor				1 Hour	3.3.1.4.(1) & 3.3.4.2.(1) & 3.2.6.5.
	Parking Garage to any Other Occupancy				1.5 Hours	3.3.5.6.(1)
	Garbage Chute Intake Room				1 Hour	3.6.3.3.(5), 3.3.1.4.(1) & 3.3.4.2.(1)
	Garbage Chute Discharge Room				2 Hours	3.6.3.3.(9)
	Garbage Chute Shaft				2 Hours (4)	3.6.3.3.(2)
	Central Alarm and Control Facility				2 Hours	3.2.6.7, 3.2.7.8
	Emergency Generator Room				2 Hours	3.2.7.8.(3)
	Service Rooms (Containing emergency life safety circuits / equipment)				2 Hours	3.2.7.8.
	Service Rooms (With Fuel Fired Equipment)				1 Hour	3.6.2.1.(1)
	Measure N Vestibules				2 Hours	3.2.6.3.(1), SB-4
	Vestibules to protect the firefighters' elevator				45 Min.	3.2.6.5.(3)(b)
	Vestibules to protect elevators on below grade levels				2 Hours	SB-4, Measure A (5)
	(1) 2 h if housing emergency life safety circuits / equipment. (2) 0 h if the floor area is sprinklered (i.e., Ground floor) 3.3.1.20.(3)(i) (3) 2 h if sprinkler protected. (4) Without closures at outlet into Discharge Room (1 h otherwise).					
18	Spatial Separation Refer to elevation drawings for spatial separation requirements Construction of Exterior Walls Refer to A8 Schedule					3.2.3.
19	Barrier-free Design In a Group C major occupancy apartment building, not less than 15% of all residential suites conforming to sections 3.8.2.1.(6), 3.8.3.3.(10), 3.3.4.9(1), 3.8.3.8(1)(g) and 3.8.3.13(1)(f), as well, each barrier-free suite should have a barrier free path of travel (1100mm) from suite entry door to one bedroom, one bathroom, a kitchen or a kitchen space, and a living room or living space where doorways leading to these spaces to be a min 860mm clear					3.8.2.1.(4)

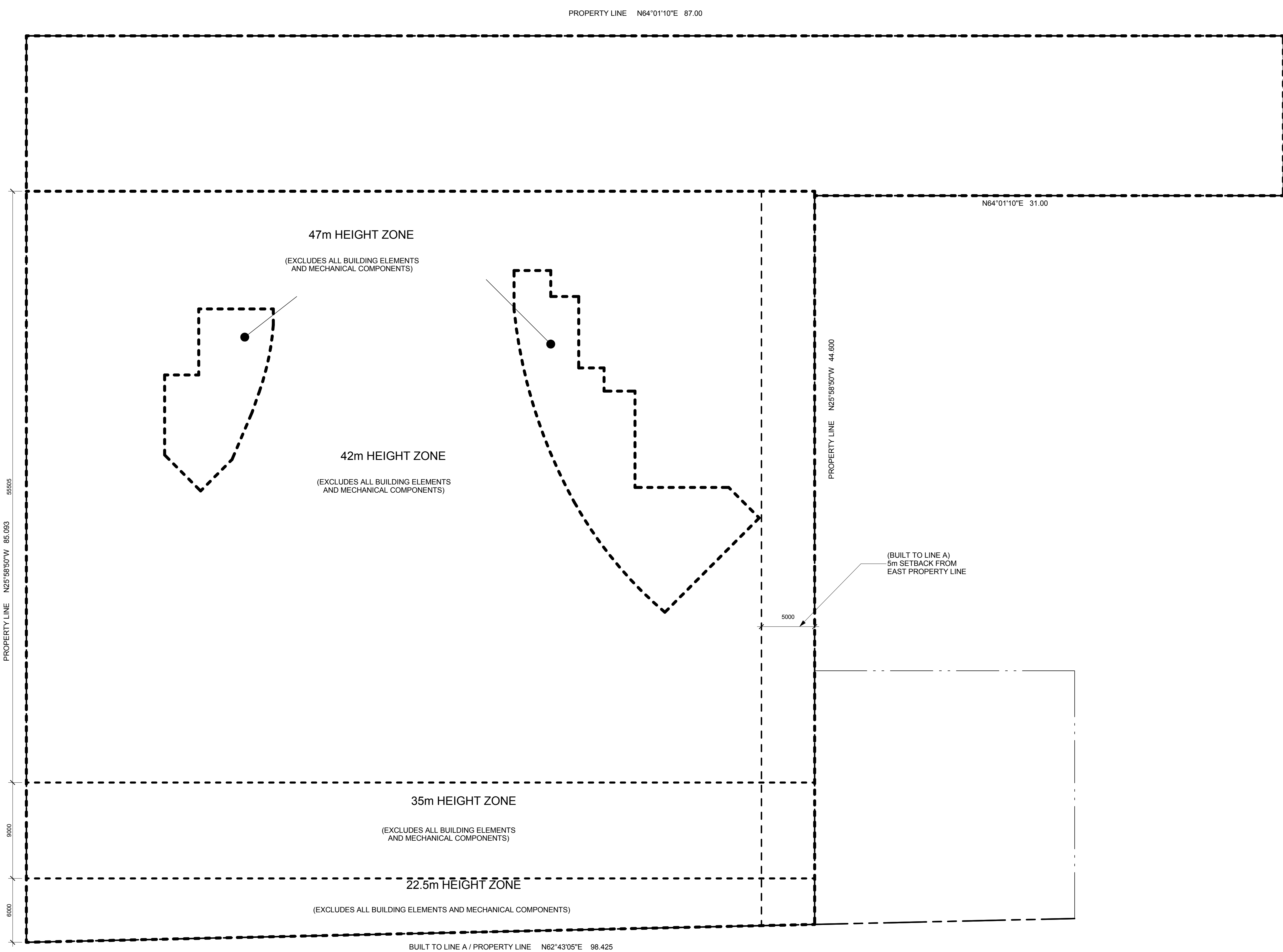
Zoning Height Diagram 6
A1-01



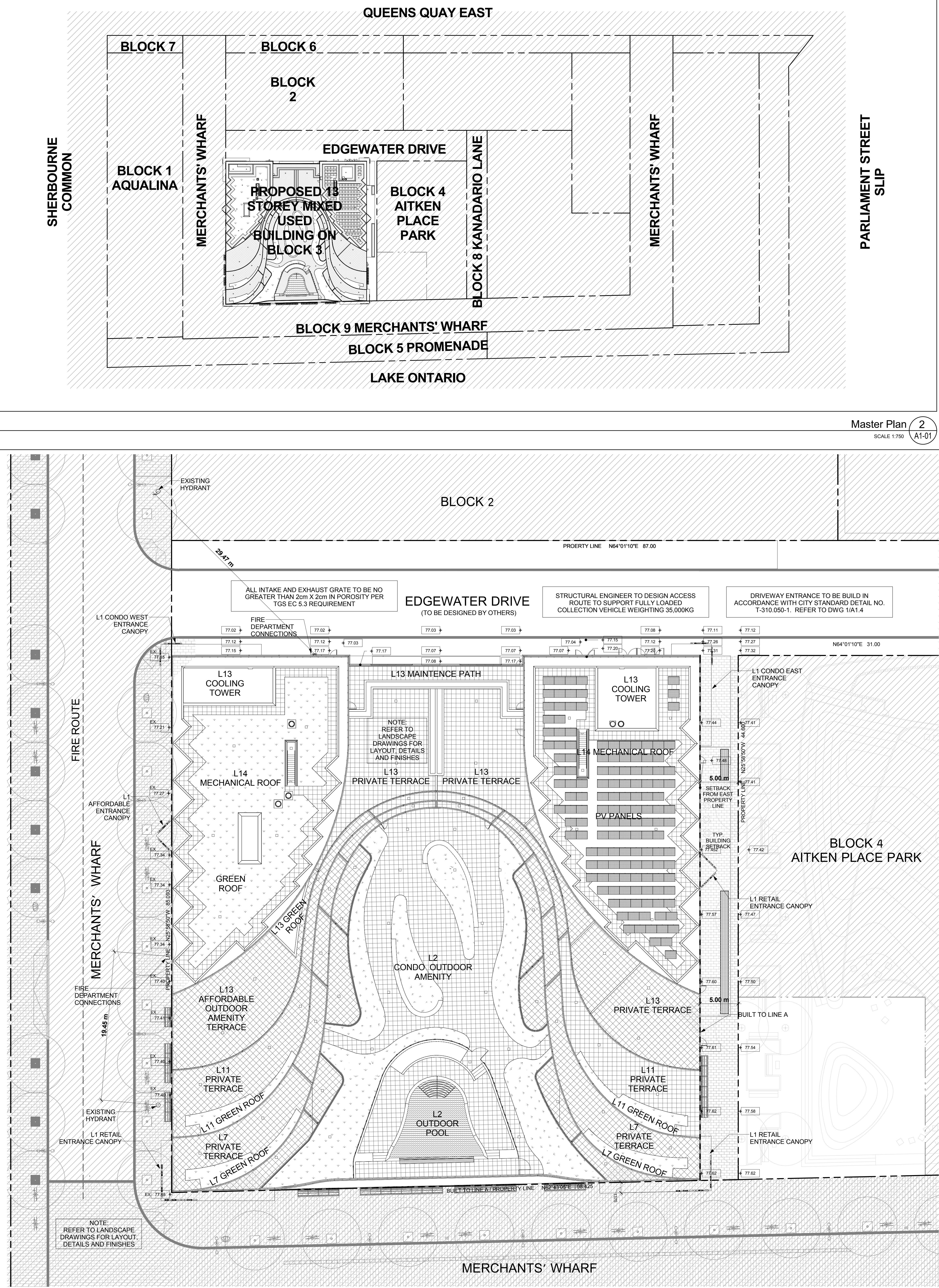
City Standard Detail NO. T-310.050-1 5
NTS A1-01



Context Map 4
NTS A1-01



Proposed Zoning Height Diagram - Map B1 3
SCALE 1:300 A1-01



Master Plan 2
SCALE 1:750 A1-01