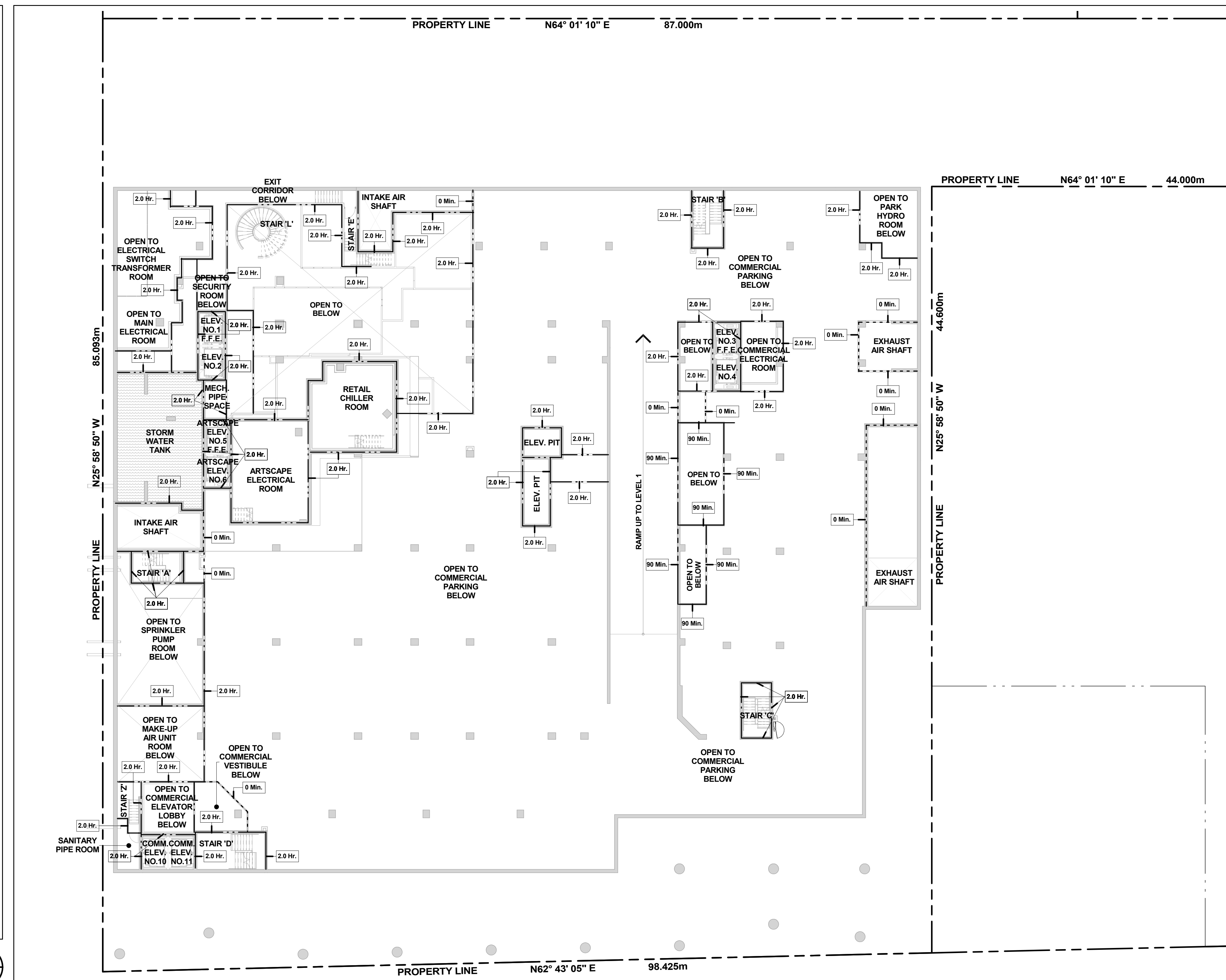
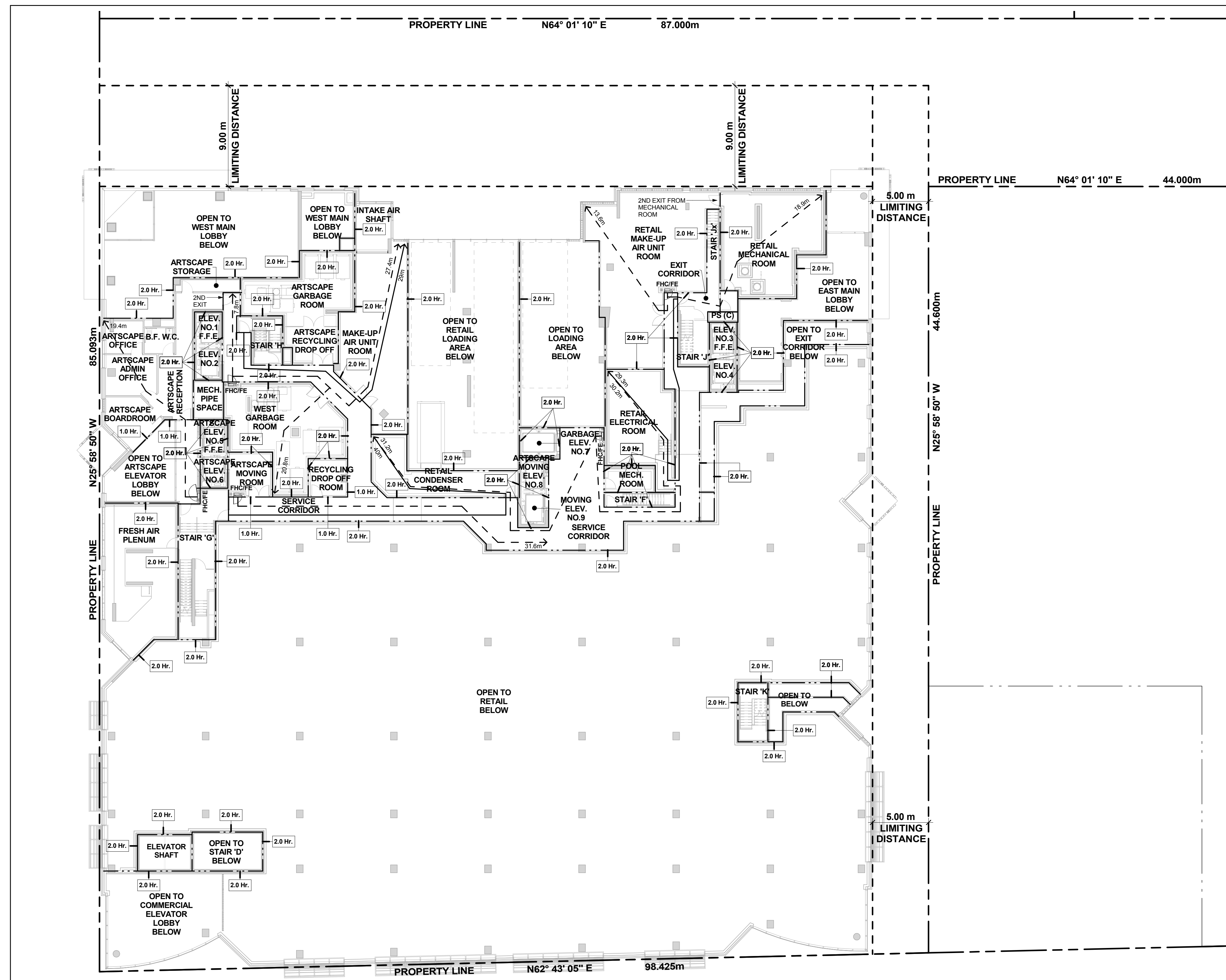
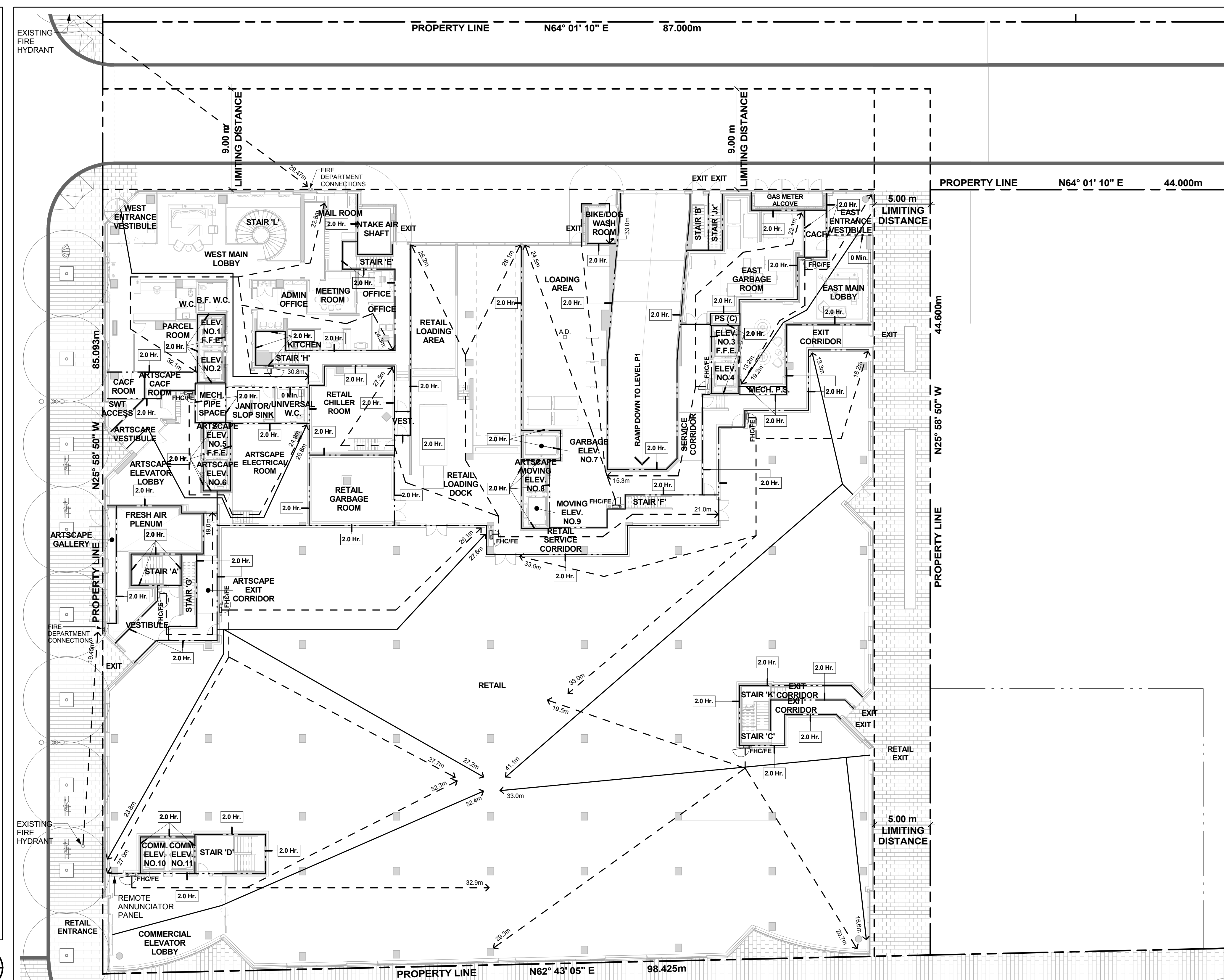
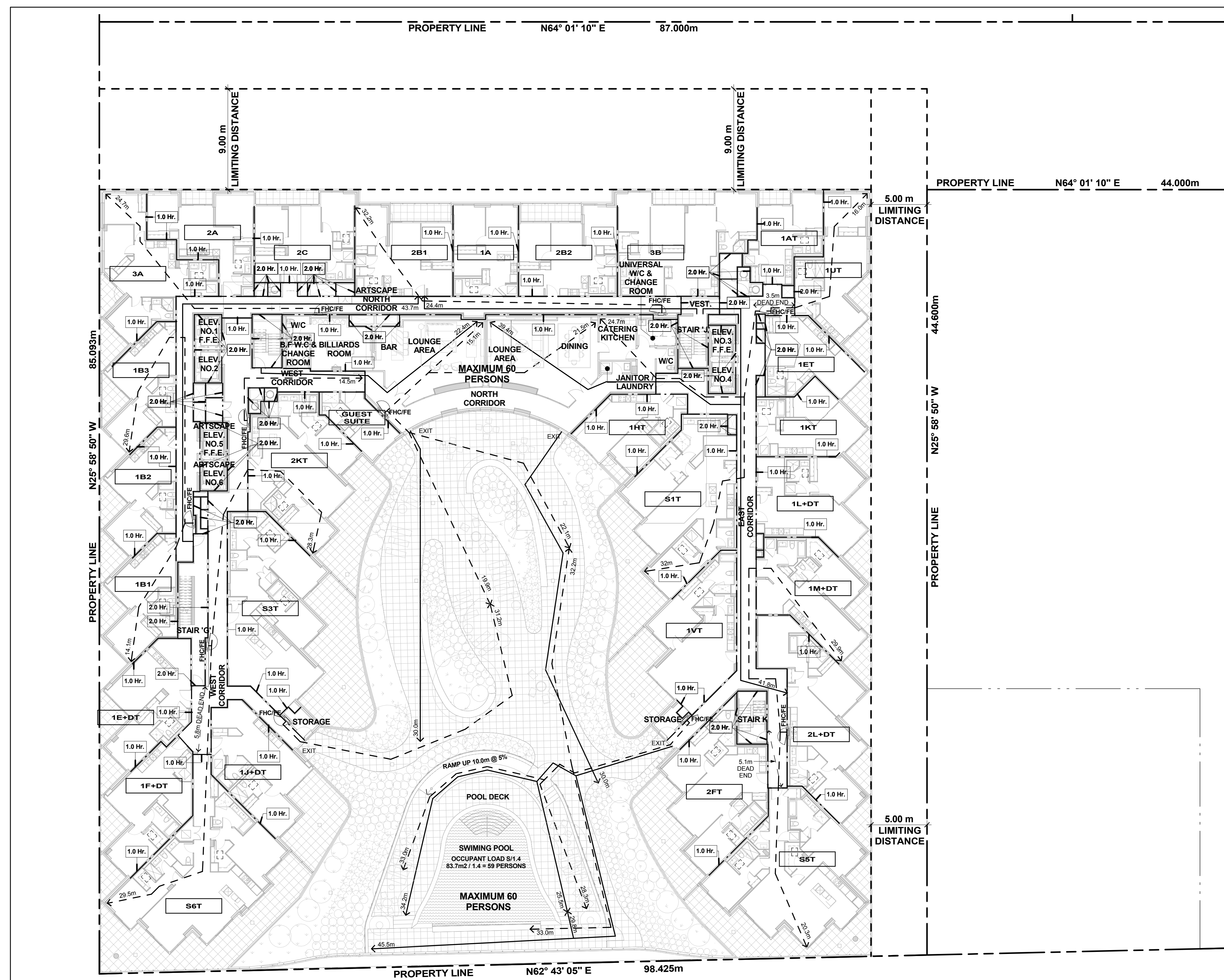




CODE COMPLIANCE LEGEND:

0 Min.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING OF 0 MIN.
45 MIN.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN.
1 1/2 Hr.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN 1 1/2 Hr.
30 MIN.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN 30MIN.
2.0 Hr.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN 2 Hr.
3.0 Hr.	DENOTES FIRE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN 3 Hr.
XXin ➤	DENOTES FIRE HOSE CABINET HOSE LENGTH 30+ IN HOSE STREAM
XXin	DENOTES TRAVEL DISTANCE FEET MAXIMUM
➤ XXin	DENOTES DEAD END CORRIDORS 80+ IN MAXIMUM

WHERE DISPROPORTIONED CODE COMPLIANCE DRAWINGS AND FLOOR PLANS CODE COMPLIANCE DENOTES SHOWN CORRIDORS
FIRE SEPARATION AS PROVIDED BY NADRA, BROWN ASSOCIATES
ALL OTHER WALLS NOT NOTED OTHERWISE HAVE A FIRE RATING OF 20R0 (1 HOUR).

Code Compliance Legend

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 A-107

GENERAL TYPICAL FLOOR NOTES

1. FINISHED AREA IS DEFINED BY THE MECHANICAL AND ELECTRICAL COORDINATOR AT ALL RESIDENTIAL UNITS. SEE MECHANICAL DRAWINGS AND COVERINGS OF MECHANICAL EQUIPMENT TO DETERMINE LOCATION AND ENCLOSEURE OF MECHANICAL AND ELECTRICAL SERVICES.
2. PROVIDE ALL FLOORING DESIGN REQUIREMENTS FOR INTERIOR FINISHES AND SPECIFICATIONS.
3. BALCONY SLABS AND CORNERS ARE TO BE CONSTRUCTED TO BE SLOPED DOWN FROM THE BALCONY EDGE TO THE INTERIOR OF THE UNIT TO ALLOW FOR WATER DRAINAGE. SEE PLUMBING AND MECHANICAL DRAWINGS FOR DRAINAGE OR AREA DRAINS. CONSULT PLANS FOR LOCATIONS.
4. PROVIDE DOWN DRAIN (DRAIN) AND DOWN DRAIN (DRAIN) VENTILATION SYSTEMS THROUGHOUT WALLS AND FLOOR THROUGHOUT WALLS AND FLOOR. DOWN DRAIN (DRAIN) IS REQUIRED TO BE INSTALLED TO EACH DOWN DRAIN (DRAIN) VENTILATION SYSTEM.
5. REFER TO WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SYSTEMS AND INSET SCHEDULE.
6. PROVIDE ALL FINISHING SPECIFICATIONS AND REQUIREMENTS FOR ELECTRICAL PANELS REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
7. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND DRAIN SCHEDULES.
8. ALL BALCONY CORNERS TO BE CONSTRUCTED AS PER DETAIL. PROVIDE FINISHING AND COVERINGS TO BE INSTALLED FROM THE BALCONY TO THE INTERIOR OF THE UNIT.
9. AT ALL FLOOR PENETRATIONS SHAFT ENCLOSEURES, NO SEALS SHALL BE ALLOWED TO PENETRATE, OR PASS THRU THE ENCLOSEURE.

10. ELEVATOR:

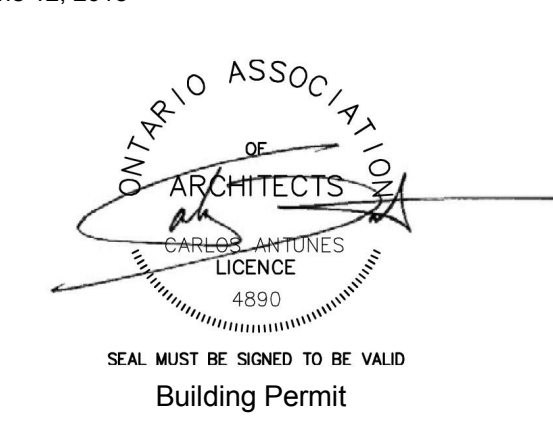
- A. ELEVATOR SHAFT DIMENSIONS PROVIDED IN THE ELEVATOR COORDINATOR. A COPY OF THIS REPORT CAN BE OBTAINED FROM THE OWNER. COORDINATE SHAFT SIZE AND REQUIREMENTS WITH REVIEWED ELEVATOR CONTRACTOR.
- B. ELEVATOR SHAFT SHALL BE CO-ORDINATED WITH ELEVATOR SUPPLIER.
- C. ELEVATOR SHAFT SHALL BE TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 2 1/2 HRS.
- D. WALLS SHALL BE CONSTRUCTED TO BE 12" MIN. THICK INTERSECTION TOP OF CONCRETE SLAB AT FLOOR SLABS.

11. LOCKER ROOM NOTES:
ALL LOCKER RAILS W/RTN TO BE 1500MM (TYP.) LOCKERS TO BE CONSTRUCTED WITH 1/2" (48) WELD MESH PARTITIONS MINIMUM 2200MM HIGH PROVIDE 1/2" (12) MESH DOOR AND CEILING. ALL TILES MESH CEILING TO BE 400MM BELOW SPRINKLER DEFLECTOR THROUGHOUT
SEVEN (7) LOCKER ROOMS W/RTN PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT

BIKE SPACE NOTES:
ALL BIKE SPACES TO COMPLY WITH TORONTO BIKECLUB BYLAW STANDARDS
HORIZONTAL PARKING 2000 x 1000 x 1000
VERTICAL PARKING 2000 x 1000 x 1000

General Typical Floor Notes

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(A1-07)



KIRKOR ARCHITECTS + PLANNER

No.:	Revision	Doc
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